

# Re-Use and Redevelopment of the Nathan Clifford School

Final Recommendations and Report of the

## Nathan Clifford Re-Use Task Force

Produced by:  
City of Portland  
Planning Division  
November 2012





## **Acknowledgements**

### **Taskforce Members**

Caroline Paras, Chair \*  
Ed Suslovic, City Council District 3 \*  
Phil Collin, Neighborhood Representative \*  
Clair Cooney, Neighborhood Representative  
Ben Grant, Neighborhood Representative  
Barry Hosmer, Neighborhood Representative  
Chuck Lerch, Neighborhood Representative \*  
Mike Monaghan, Neighborhood Representative \*  
Dan Murphy, Neighborhood Representative  
Martha Shiels, Neighborhood Representative  
Jennifer Wande, Neighborhood Representative  
F R Vance, Neighborhood Representative  
Paul Stevens, SMRT \*  
Carol DeTine, Greater Portland Landmarks Representative \*  
Leslie Buhrman, Portland Society of Architects Representative  
Bob Caswell, University of Southern Maine

\*Indicates participation on the Drafting Subcommittee

### **City Council's Housing and Community Development Committee**

Nicholas Mavodones, Chair  
Cheryl Leeman, Vice Chair  
Kevin Donoghue, District 1  
Edward Suslovic, District 3

### **City Staff**

Jeff Levine, Director of Planning and Urban Development  
Alex Jaegerman, Planning Division Director  
Bill Needelman, Senior Planner (primary staff)  
Jennifer Yeaton, Planning Office Manager

## Report from Nathan Clifford Re-Use Advisory Task Force

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    - 1. Neighborhood profile
    - 2. Nathan Clifford School – About the School and Floor Plans (School Department document, November 2011)
    - 3. Barba-Wheelock: Preliminary Review of New Construction vs. Renovation Portland Public Schools Draft Report, September 28, 2007
    - 4. National Register of Historic Places: Letter of Eligibility, February, 24, 2010
    - 5. City Landmark designation application and criteria
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## I. Executive Summary

On September 26, 2007, the Portland School Department voted to close Nathan Clifford in favor of constructing a new elementary school at 150 Ocean Avenue. This decision set in motion a series of events that resulted in the designation of Nathan Clifford as surplus property. But the school, which had served Portland's children for over 100 years, was more than just a building: it was the heart and soul of Oakdale. To honor its revered place in the neighborhood, we are called upon to craft a process that results in a new steward and a new life for the school.

On June 18, 2012, the Portland City Council authorized the creation of the Nathan Clifford Re-Use Advisory Task Force to report back to the City's Housing and Community Development Committee with a list of preferred uses for the property as well as a process for soliciting and ranking potential re-use proposals. The Task Force consisted of over a dozen members, including District 3 Councilor Ed Suslovic, residents of the immediate neighborhood, and representatives from the University of Southern Maine, Greater Portland Landmarks, and Portland Society of Architects. The Task Force met four times from September 13 to November 8, 2012. On October 2, the Task Force hosted a public forum that attracted 38 participants, including residents and developers. During this public outreach, the Task Force learned that neither the City of Portland nor the University of Southern Maine had an interest in retaining ownership of the property for future use.

We urge the City Council to give due consideration to these recommendations and to execute the suggested timeline for their implementation. Below is a summary of the Task Force's key recommendations:

- Provide preference for uses generally consistent with current R-5 Zoning, including residential and educational.
- Allow consideration of uses compatible with the R-5 zone not currently permitted, such as low impact commercial uses that provide amenities and/or products that serve the neighborhood.
- Require that all proposals preserve the existing open space as a neighborhood amenity.
- Designate the school as a Portland City Landmark.
- Authorize a Conditions Assessment of the building to inform the development of all re-use proposals.
- Conduct a two-tier solicitation process consisting of a Request for Qualifications followed by a detailed Request for Proposals from no more than 3 bidders.

These recommendations of the Task Force are grounded in three sets of interrelated values:

**The building's historic features must be preserved.** Although Nathan Clifford is a distinguished public building, there is currently no mechanism in place to protect the school's historic exterior and interior features. The Task Force recommends that the Portland City Council designate the building a City Landmark. This designation will require review of all exterior changes by the Historic Preservation Board. The Task Force encourages developers wishing to take advantage of Federal tax credits to list the building on the National Register of Historic Places. This level of designation will govern changes to the interior of the building.

**The condition of the building must be stabilized.** Renovating Nathan Clifford demands a substantial financial investment. Areas of attention include roofing and masonry repair to protect the building from water damage as well as the elimination of environmental hazards posed by asbestos in the plaster wall systems and floor tiles. The Task Force recommends that the Portland City Council authorize an assessment of the building's conditions. This report would be included in the Request for Qualifications to ensure bidders respond on a level playing field. All bidders will be required to address the building's conditions and demonstrate that they have the financial, technical, and management capacity to carry out their plans.

**Future uses must contribute to the character and vitality of the Oakdale neighborhood.** The central challenge is to develop a process that encourages creativity in the marketplace so that future owners can generate sufficient income to stabilize the building and preserve its historic features. At the same time, the new uses must be compatible with the surrounding neighborhood. This balance can be achieved primarily by encouraging uses generally consistent and compatible with the R-5 zone while discouraging uses of a transient nature. This compatibility, in terms of use, design, character, and impact, must be valued above price.

## II. Recommendations

*November 15, 2012*

*The following recommendations were accepted by unanimous vote of the Task Force at their November 8, 2014 meeting. The Housing and Community Development Committee subsequently accepted and endorsed the Task Force's recommendations by unanimous vote (Donoghue absent) on November 14, 2012.*

*The document is structured according to the charge to the Task Force established by the City Council and is organized by:*

- A. Use;*
- B. Criteria; and,*
- C. Process.*

*The language is largely framed as might be found in a request for proposals document to ensure that the Task Force's recommendations may be specifically utilized in the request and evaluation of proposals. In drafting an RFP document, the organization would likely be amended.*

### I. Introduction

The Nathan Clifford Re-Use Advisory Task Force was created by the City Council to provide recommendations on the future of the Nathan Clifford School property at 180 Falmouth Street. Earlier this year, the school was declared surplus by the Portland Public Schools and is currently vacant. The Portland City Council created the Task Force to recommend preferred uses for the property in anticipation of prioritizing future proposals for the re-use and/or redevelopment of the school and grounds. As part of their work, the Task Force held 4 advertised public meetings including a site walk and a well-attended public forum. Additionally, a "Drafting Subcommittee" worked with City Planning staff to develop language for review and editing by the full Task Force. The Nathan Clifford Re-Use Advisory Task Force presents these recommendations to the Housing and Community Development Committee for their consideration and fulfillment of their charge as assigned by the City Council.

## II. Recommendations

### A. Uses:

#### I. Generally

Re-use of the Nathan Clifford School building and property is intended to support and enhance the integrity of the surrounding neighborhood. Proposals for re-use of the property will show consistency with this intent by sensitively preserving the building and

introducing new uses, occupants, and improvements that contribute to and not detract from the character and vitality of the area.

## **II. Existing Zoning**

When applied to the Nathan Clifford property, the existing R-5 Residential zoning promotes uses, residential density, and development forms consistent with the existing neighborhood character. The City will, however, entertain use proposals that are not consistent with the R-5 zone, understanding that sale of property would be contingent on the proposer applying for and receiving a zone change consistent with the proposed use(s).

Proposals that include residential unit counts that significantly exceed the current maximum R-5 allowances are discouraged.

## **III. Uses Encouraged**

The following uses are specifically encouraged to compatibly add value, vitality and interest to the Nathan Clifford building and neighborhood.

- a. Educational and research institutions;
- b. Community uses;
- c. Publicly accessible and maintained open space and play features;
- d. Residential dwelling units at a density generally consistent with the R-5 Zone (based on total area of the Nathan Clifford property);
- e. Low impact, low traffic commercial uses providing amenities and/or products focused on serving neighborhood clientele; and,
- f. Creative mix of uses that protect and enhance the character and vitality of the neighborhood.

## **IV. Uses Discouraged**

The following uses are strongly discouraged.

- a. Higher intensity commercial, industrial, and/or institutional uses that include large amount of traffic, parking, and, external impacts;
- b. Transient residential uses such as hotels and hostels; and,
- c. Residential uses that are significantly higher density than allowed under current zoning (based on total area of the Nathan Clifford property.)

**Note on Process: The Task Force recommends bifurcating proposals into a two-step process with a request for qualifications preceding a request for full proposals from selected top-tier development teams.**

**B. Criteria:**

The City will accept and rate Developer Team qualifications and proposals for re-use of the Nathan Clifford School property using the following criteria:

**I. Thresholds for Evaluating Developer Qualifications**

Prior to requesting full proposals for re-use and development of the Nathan Clifford property, Development Teams shall submit qualifications to the City. The *Qualifications Document* shall include the following information in order to be considered:

**a. Development Team**

Identify the principal members of the development team and their respective roles in the project.

**b. Program and Redevelopment Description**

Provide a *conceptual development and re-use narrative* including goals, program, business plan and timeline for the development.

**c. Development team experience and financial capabilities.**

The Qualifications shall include documentation demonstrating that the development team can complete and operate the concept development by supplying:

1. Letters of financial capability from credible financial institutions with experience working with principles of the development team; and,
2. Descriptions and examples of comparable projects or endeavors demonstrating adequate experience and expertise of the development team to successfully complete and operate the proposal

**II. Criteria for Evaluating Qualifications**

The city will apply the following criteria to rate competing Developer Team qualifications for selection to submit full proposals.

- a. Use**  
The uses described in the conceptual development and re-use narrative are consistent with Section A (Uses) above; and,
- b. *Financial Strength and Experience of the Development Team***  
The Development Team has the experience, financial capacity and a proven track record to confidently achieve the goals and program(s) described in the *conceptual development and re-use narrative*.

### **III. Thresholds for Considering Full Proposals:**

All proposals shall include information and documentation of the following in order to be considered:

- a. *Development Team***

The proposal shall identify the principal members of the development team and their respective roles in the project.

- b. *Restoration of Building***

The proposal shall describe commitments and measures to protect the short-term and long-term integrity of the building that at a minimum:

1. Address the stability and safety of the building by immediately protecting the structure from further deterioration.
2. Commit secured funds needed to address critical repair issues as identified in the City's Conditions Report. (*See Process Recommendations, below.*)
3. Preserve the structural and architectural integrity of the building consistent with established historic preservation standards.

- c. *Publicly Accessible Open Space***

Publicly accessible open space shall be incorporated into all proposals.

Proposals that require the land area included in the open spaces and or play areas for residential density requirements under the R-5 zoning may propose public access easements to preserve the maximum residential density allowed. Residential projects proposing that the City retain fee ownership of open areas would either lose residential density potential, or

would need to propose a zone change to allow higher residential density on the residual project site.

**d. *Program and Redevelopment Description***

The proposal shall include a detailed description of the uses and development of the property including sufficient detail for the City to understand the intent of the proposal and to conduct a zoning determination for consistency with the R-5 zone. At a minimum the proposal shall include:

1. A re-use narrative describing the development program for interior and exterior uses of the property; ,
2. Sketch level or conceptual drawings showing proposed improvements such as site plans, floor plans, elevations, additions, new structures, publicly accessible areas, and other site features; and,
3. A project business plan, market analysis, time line, and development pro forma demonstrating the long-term success and viability of the project.

**e. *Purchase Offer, Estimated Project Value, and Property Tax Impact to the City***

The proposal shall include:

1. The purchase offer to the City;
2. Estimated cost of the proposed improvements;
3. Estimated post-development property value;
4. Estimated property tax impact to the City from the development.

**f. *Financial and Technical Capability***

The proposal shall include documentation demonstrating that the development team can complete and operate the proposal as described in (b),(c)and (d) above by supplying:

1. Letters of financial capability from credible financial institutions with experience working with principles of the development team; and,

2. Descriptions and examples of comparable projects or endeavors demonstrating adequate experience and expertise of the development team to successfully complete and operate the proposal.

#### **IV. Criteria for Prioritizing Full Proposals:**

The city will apply the following criteria to rate competing proposals. Primary criteria are given greater weight than secondary, but all criteria represent important considerations when evaluating and selecting a preferred proposal.

##### ***a Primary Criteria***

The Proposal:

1. Promotes a positive impact on the neighborhood as demonstrated by specific commitments within the proposal. The character, vitality and property value of the neighborhood will be protected and enhanced by the proposal.
2. Provides a neighborhood amenity. Proposals including a greater extent and higher quality of publically accessible open space and/or a gathering space within the building will be given higher preference. Preference is given to publically maintained open space.
3. Demonstrates sufficient strength of financial and technical capability and the project business plan to successfully complete the project in a timely manner.
4. Contains one or more of the encouraged uses listed in A.III, above; and ,
  - a. Preference is for to educational and residential uses.
  - b. Highest preference is for a creative mix of uses that adhere to the criteria above.

(Note: Mixed use proposals that are not consistent with existing zoning will be considered, but must demonstrate compatibility with the building, the neighborhood and the City's Comprehensive Plan.)

**b. Secondary Criteria:**

*Note: Secondary criteria shall weigh substantially less than primary criteria when evaluating competing proposals.*

1. Purchase price.
2. Benefits to the City tax base.
3. Provision of public snow ban parking (as is provided at the property in the current condition.)

**C. Recommended Process for Requests for and Review of Proposals**

The Nathan Clifford Re-Use Advisory Task Force recommends the following process steps to ensure the appropriate re-use and long-term stewardship of the property:

**I. Conditions Assessment**

The City should immediately authorize, fund, and conduct a detailed conditions assessment of the building identifying critical and long-term repair issues necessary for the ongoing maintenance and preservation of the structure.

**II. Historic Landmark Designation**

The Task Force strongly recommends that the City Council immediately begins the process of designating the building as an individually listed historic landmark. Landmark designation will manage change to the building and potential impacts to the surrounding neighborhood and provide clear assurances that the character defining features of the structure will be preserved and that qualifying proposals will be eligible for state and federal historic preservation tax credits.

**III. Request for Qualifications**

As soon as possible, the City should widely advertise and aggressively promote a request for qualifications (RFQ) from developers and institutions with interest in re-use of the Nathan Clifford School property. The intent is to generate as much interest as possible from a wide and diverse cross-section of developer and institutional interests by providing a low threshold for entry to the process.

Interested parties would be asked to submit a concept development and re-use narrative, a conceptual business plan, development timeline, and development team qualifications and financial capabilities. The RFQ would not require detailed architectural drawings or development pro formas as the generation of such documents are expensive and may provide a barrier or disincentive for otherwise interested teams to submit. Based on the relative strength of the development

teams and the proposal narratives, the City will select a no more than three (3) of the top-tier, financially viable development teams to present full proposal packets through an invitation only Request for Proposals (RFP.)

In publicizing the RFQ, the City should utilize conventional and new media, as well as press releases and direct outreach to the development community. Sufficient time should be allowed between the issuance of the RFQ and the deadline for submittal to encourage diverse teams to collaborate and craft creative development concepts that meet the intent and specifics outlined in A and B above.

#### **IV. Request for Proposals**

From three (3) or fewer top ranked development teams identified through the Request for Qualifications, the City should request full proposals for re-use of the Nathan Clifford School property to be evaluated according to the specifics outlined in A and B above.

#### **V. Review of Proposals**

The Task Force recommends that the Mayor appoint a *Proposal Review Committee* to evaluate proposals against the criteria established herein. In addition to City staff members from Purchasing, Finance, and Planning, the Review Committee shall be comprised of community representatives including a neighborhood representative, a design professional, Greater Portland Landmarks, and a real estate professional. The Review Committee shall report their findings and recommendations to the Housing and Community Development Committee (HCDC) of the City Council at an advertised public hearing.

The HCDC's recommendation should be reported to the City Council for adoption and direction to the City Manager's Office to negotiate the final terms of sale of the property.

Public participation and testimony will be encouraged at both the HCDC's and City Council's public hearings through use of the City's website and use of the interested parties email addresses generated through the Nathan Clifford Re-Use Task Force process.

### III. Nathan Clifford Re-Use Recommendations: Implementation Timeline

November 8, 2012	Re-Use Taskforce Final Meeting – Finalize Recommendations
November 14, 2012	HCDC Review of Task Force Recommendations
November 2012	Initiate Building Conditions Study and Report
December 2012	Draft Request for Qualifications (RFQ) and Request for Proposals and (RFP) Documents  City Council approves process and appoints Proposal Review Committee
January 2013	Initiate Historic Landmark Designation with HP Board  Complete Building Conditions Report  Review RFQ and RFP Documents with the HCDC Committee  Issue RFQ
February 2013	Finalize Historic Landmark Designation with City Council
April 2013	RFQ Due
April/May 2013	Select Limited # of Development Teams to submit full proposals guided by RFP document
July 2013	Full Proposals due
July/August 2013	Review Committee evaluates proposals and interviews Development Teams
August /September 2013	Review Committee recommends lead proposal to HCDC  HCDC votes to recommend lead proposal to City Council
September 2013	City Council reviews HCDC Recommendation and votes to direct the City Manager to negotiate sale of the Nathan Clifford property based on the conditions and specifications outlined in the selected proposal.
October/ November 2013	Nathan Clifford property ownership transfers to the development team

Order 224-11/12

Passage: 8-0 (Anton out) 6-18-12

MICHAEL F. BRENNAN (MAYOR)  
KEVIN J. DONOGHUE (1)  
DAVID A. MARSHALL (2)  
EDWARD J. SUSLOVIC (3)  
CHERYL A. LEEMAN (4)

**CITY OF PORTLAND**  
IN THE CITY COUNCIL

JOHN R. COYNE (5)  
JOHN M. ANTON (A/L)  
JILL C. DUSON (A/L)  
NICHOLAS M. MAVODONES (A/L)

**ORDER ESTABLISHING THE NATHAN CLIFFORD  
RE-USE ADVISORY TASK FORCE**

**ORDERED**, that the Nathan Clifford Re-Use Advisory Task Force is hereby established with the following responsibilities and appointments:

- The Task Force shall report back to the City Council's Housing and Community Development Committee at its November 14, 2012 meeting with preferred uses for the Nathan Clifford property, as well as a list of criteria for ranking potential uses. The Task Force shall also develop recommendations for a process to review proposals; and

**BE IT FURTHER ORDERED**, that the following members are appointed to the Nathan Clifford Re-Use Advisory Task Force:

Caroline Paras, Chair  
Phil Collin  
Clair Cooney  
Ben Grant  
Barry Hosmer  
Chuck Lerch  
Mike Monaghan  
Dan Murphy  
Martha Shiels  
Paul Stevens  
Jennifer Wande  
F R Vance  
Greater Portland Landmarks Representative  
Portland Society of Architects Representative  
USM Representative  
HCDC Committee Liaison: Councilor Ed Suslovic; and

**BE IT FURTHER ORDERED**, that the Nathan Clifford Re-Use Advisory Task Force will terminate on November 14, 2012 unless its term is extended by order of the City Council.

## ***Nathan Clifford Re-use Advisory Task Force: Charge and Work Plan***

***DRAFT 8-21-12 DRAFT***

The Nathan Clifford Re-use Advisory Task Force (from here on referred to as the Task Force) was established on June 18, 2012 by the Portland City Council to:

- Report preferred uses for the historic school property;
- Develop criteria for ranking potential uses; and,
- Recommend a process to review proposals.

The Task Force was additionally charged with reporting their findings to the City Council's Housing and Community Development Committee at its November 14, 2012 meeting.

The membership of the Task Force includes:

Caroline Paras, Chair  
Councilor Ed Suslovic, HCDC Committee Liaison  
Phil Collin  
Clair Cooney  
Ben Grant  
Barry Hosmer  
Chuck Lerch  
Mike Monaghan  
Dan Murphy  
Martha Shiels  
Paul Stevens  
Jennifer Wande  
F.R. Vance  
Carol DeTine, Greater Portland Landmarks  
Robert Caswell, University of Southern Maine  
Leslie Buhrman, Portland Society of Architects

The process is to be staffed by the Portland Planning Division.

Planning Staff and the Task Force chair recommend the following work plan to complete the assignment within the City Council's prescribed time period.

**Nathan Clifford Re-use Advisory Task Force: Work Plan and Tentative Schedule**

<b>Process Step - Meeting Date:</b>	<b>Tasks/Agenda:</b>	<b>Outcomes:</b>
<p><b>Task Force Meeting</b> September 13, 2012 5:00 to 7:00. Convene in-front of the school on Falmouth Street for site walk. Reconvene in Room 627 in the Law School at 5:45 to complete items 3-6 on the meeting agenda.</p>	<ol style="list-style-type: none"> <li>1. Intros – Charge to Task Force</li> <li>2. Site walk</li> <li>3. Presentation of site and building assessment</li> <li>4. 1<sup>st</sup> thoughts on opportunities, issues and uses.</li> <li>5. Work Plan and Upcoming Public Meeting</li> <li>6. Assign Drafting Subcommittee</li> </ol>	<p>Task Force provided with common reference points for the purpose Task Force, available information, and process moving forward.</p>
<p><b>Task Force and Public Meeting</b> <i>TENTATIVE DATE</i> October 2, 2012 5:30-7:00</p>	<p>Public Meeting</p> <ol style="list-style-type: none"> <li>1. Summarize Site and Building Assessment</li> <li>2. Taskforce comments</li> <li>3. Public comments on opportunities, issues and uses</li> </ol>	<p>Task Force and public input on re-use of the facility informed by an understanding of its assets and liabilities.</p>
<p><b>Drafting Subcommittee:</b> Oct 3-Oct 15</p>	<p>Draft a prioritized list of uses for discussion by the Task Force.</p>	<p>Discussion document for distribution to Task Force</p>
<p><b>Task Force Meeting</b> <i>TENTATIVE DATE</i> October 16, 2012 5:30-7:00</p>	<ol style="list-style-type: none"> <li>1. Presentation of first draft document produced by the Drafting Subcommittee.</li> <li>2. Discussion and edit suggestions</li> </ol>	<p>Direction on completing a final draft document for reporting at the next meeting.</p>
<p><b>Drafting Subcommittee</b> Oct. 17- Nov. 7</p>	<p>Planning staff will circulate drafts as developed, for review and comment by the Drafting Subcommittee</p>	<p>Final Draft Document</p>
<p><b>Task Force Meeting</b> <i>TENTATIVE DATE</i> November 8, 2012 5:30 to 7:00</p>	<ol style="list-style-type: none"> <li>1. Presentation of final draft document</li> <li>2. Final revisions, if needed</li> <li>3. Task Force votes on recommendation of the final draft document to the City Council</li> <li>4. Task Force disbands</li> </ol>	<p>Final Documents for presentation to the HCDC</p>
<p><b>HCDC Committee</b> November 14, 2012</p>	<p>Presentation of the Final Document to the HCDC by Planning Staff or Task Force Chair</p>	<p>Recommendation to the City Council on Task Force’s findings and Final Document</p>

***Nathan Clifford Re-Use Task Force Meeting***

**AGENDA**

September 13, 2012, 5:00 to 7:00pm.

**Site walk**

5:00pm Convene in front of the school at 180 Falmouth Street for site walk and building tour - requires stair climbing. (30 min)

Walk to USM Law School Building at 246 Deering Avenue

5:45pm Reconvene in Room 627 in the Law School

**Agenda**

1. Introductions, review the charge to Task Force (5 min)
2. Ground Rules and Process (10 min)
3. Presentation of site and building assessment (20 min)
4. 1st thoughts on opportunities, issues and uses. (20 min)
5. Work Plan and Upcoming Public Meeting (15 min)
6. Assign Drafting Subcommittee (5 min)
7. Adjourn

Background material for the process and meeting is found at:  
<http://www.portlandmaine.gov/nathanclifford.htm>

**Nathan Clifford Re-Use  
Public Meeting**

**October 2, 2012: 5:30 pm to 7:00 pm, Room 209, City Hall**

**Agenda:**

- |    |  |                  |
|----|--|------------------|
| 1. | Welcome and Introduction of the Task Force<br>Caroline Paras, Chair  | 5:30 pm<br>5 min |
| 2. | Process Goals and Charge to the Task Force<br>Bill Needelman, Senior Planner   | 5 min            |
| 3. | Review agenda and introduce process methods – “clicker voting”<br>Caroline Paras, Chair  | 5 min            |
| 3. | Building Conditions and Context<br>Bill Needelman, Senior Planner  | 10 min           |
| 4. | Potential Re-Use Options: Housing? Education? Commercial? Community?<br>Mixed Use? <i>Public is asked to confirm and/or contribute to this list.</i> | 10 min           |
| 5. | Break: <i>Voting “Clickers” distributed</i>  | 10 min           |
| 6. | Potential Re-Use Survey with Voting and Instant Results.<br>Caroline Paras, Chair  | 20 min           |
| 7. | Public Comment on process and re-use voting results.   | 20 min           |
| 8. | Next Steps   | 5 min            |
| 9. | Adjourn  | 7:00 pm          |

**Nathan Clifford Re-Use Advisory Task Force**

**October 16, 2012**

**5:30 to 7:00, City Council Chambers, City Hall**

**Meeting Agenda**

1. Welcome and Introductions 5 min
2. Public Meeting Results and Recap:
  - Polling results; 10 min
  - Public comment summary; 5 min
  - Discussion point – Has the process to date generated sufficient information for the Task Force to complete the charge? 10 min
3. Recommendations – Working document from the Drafting Subcommittee:
  - Overview 10 min
  - Discussion and feedback to Drafting Subcommittee 45 min
4. Next Steps 5 min
5. Adjourn 7:00pm

***Nathan Clifford Re-Use Task Force Meeting***

**AGENDA**

November 8, 2012, 5:30 to 7:00pm.

**Agenda**

1. Report of the Recommendations of the Drafting Subcommittee (10 min)
2. Discussion on final edits to the Recommendations Document (40 min)
3. Presentation and discussion on the Executive Summary (15 min)
4. Motion to endorse the Recommendations: Discussion and vote (15 min)  
*Completes the Task Force Charge*
5. Next steps: HCDC, Timeline (5 min)
6. Feedback on process (5 min)
7. Adjourn

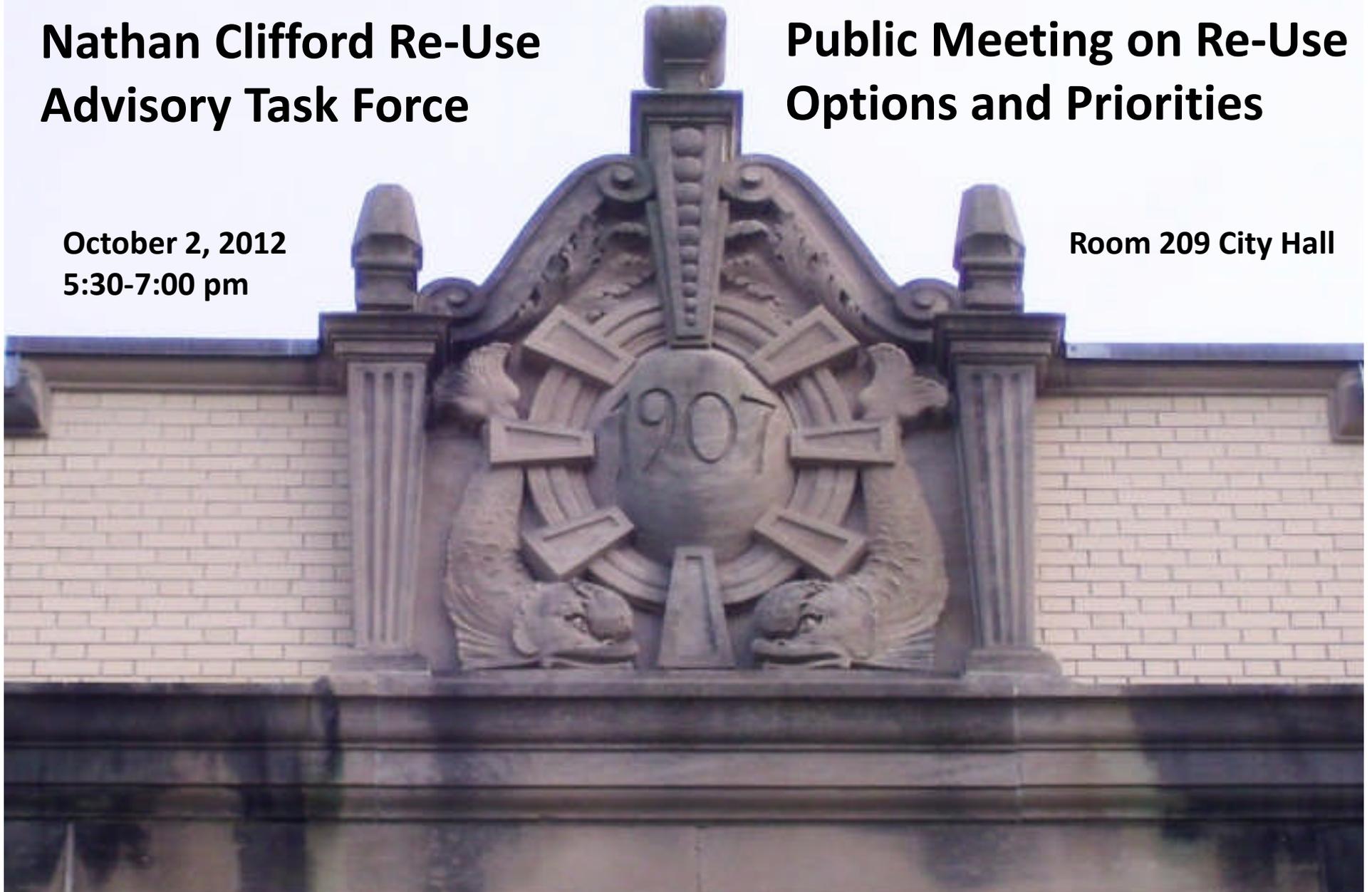
Background material for the process and meeting is found at:  
<http://www.portlandmaine.gov/nathanclifford.htm>

**Nathan Clifford Re-Use  
Advisory Task Force**

**Public Meeting on Re-Use  
Options and Priorities**

**October 2, 2012  
5:30-7:00 pm**

**Room 209 City Hall**



## Agenda

1. Welcome and Introductions
2. Review agenda
3. Charge to the Task Force
4. Neighborhood Profile with voting demonstration
5. Building Conditions and Context
6. Potential Re-Use Options: Housing? Education? Commercial? Community? Mixed Use?
7. Break
8. Potential Re-Use Survey with Voting and Instant Results.
9. Public Comment on process and re-use voting results.
10. Next Steps
11. Adjourn



## **Charge to Task Force:**

Adopted by the  
City Council on June 18, 2012



**The Task Force shall report back to the City Council's Housing and Community Development Committee at its November 14, 2012 meeting with:**

- **Preferred uses for the Nathan Clifford property,**
- **List of criteria for ranking potential uses**
- **Recommendations for a process to review proposals**



# Profile of Oakdale

**3,415 residents**

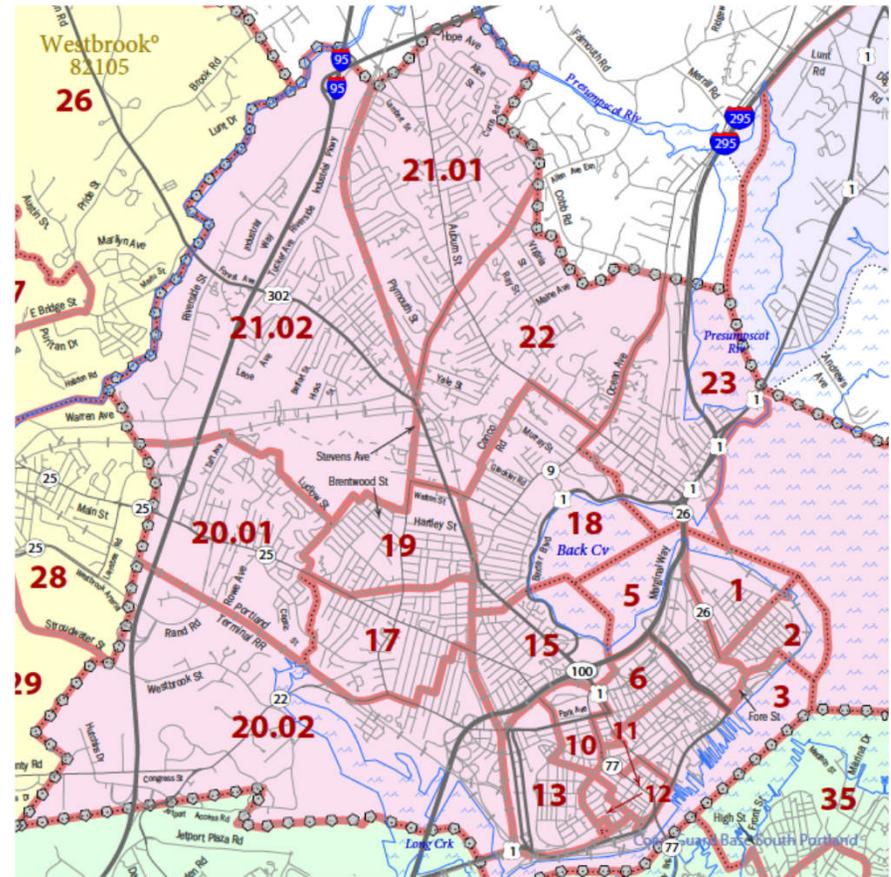
- -30% Children under 18
- -30% Seniors 65 and over

**1,715 households**

- 70% renters
- 42% single people living alone

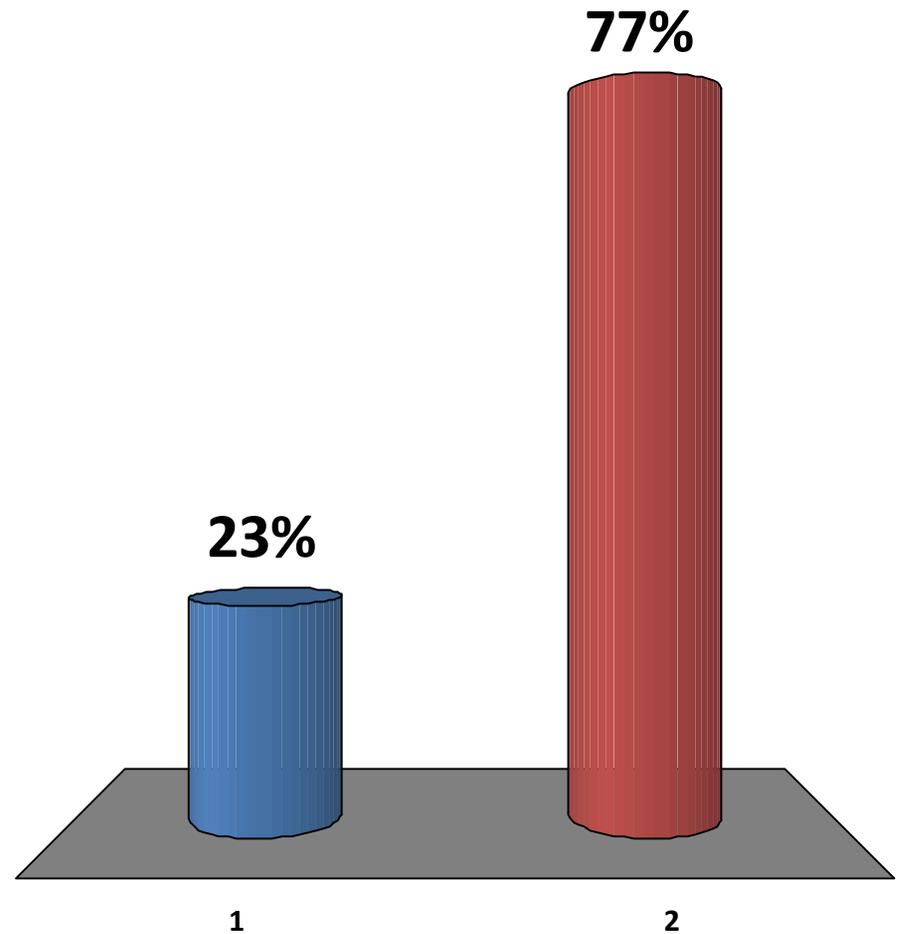
**1,826 housing units**

- 69% multi-family
- 0% vacancy rate for condos and single family homes
- 11.4% vacancy rate for rental units



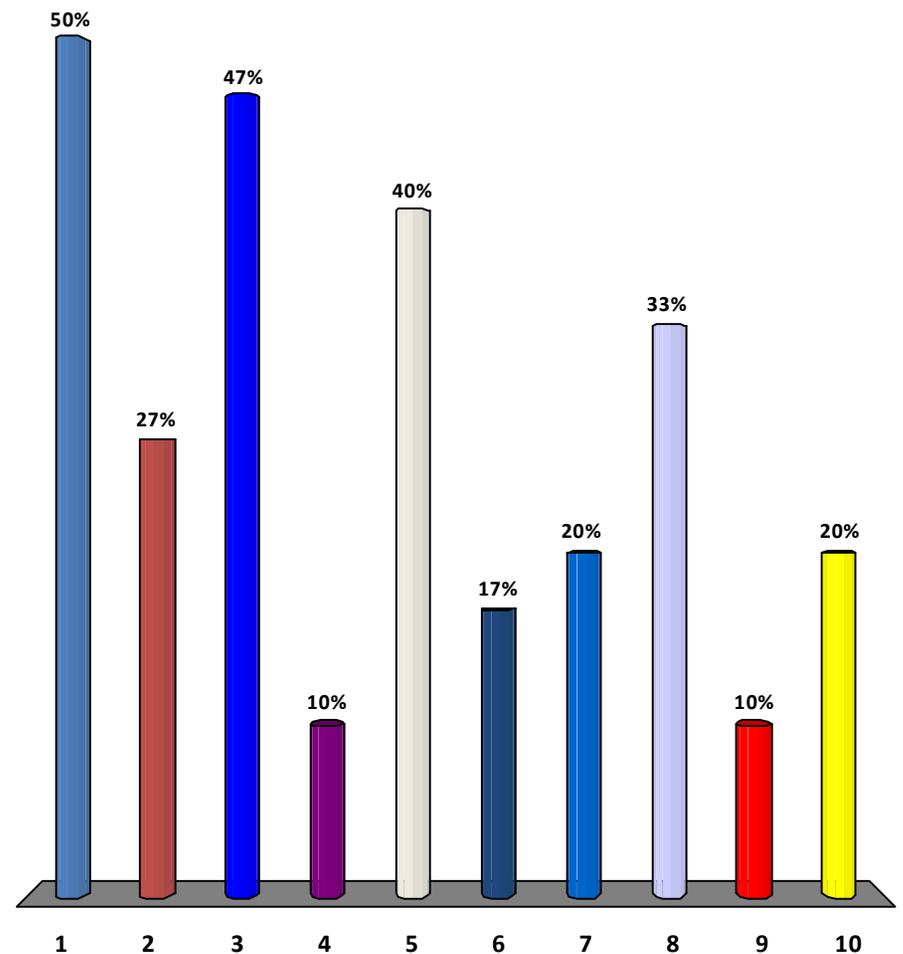
# Did you or your children attend the Nathan Clifford School?

1. Yes
2. No



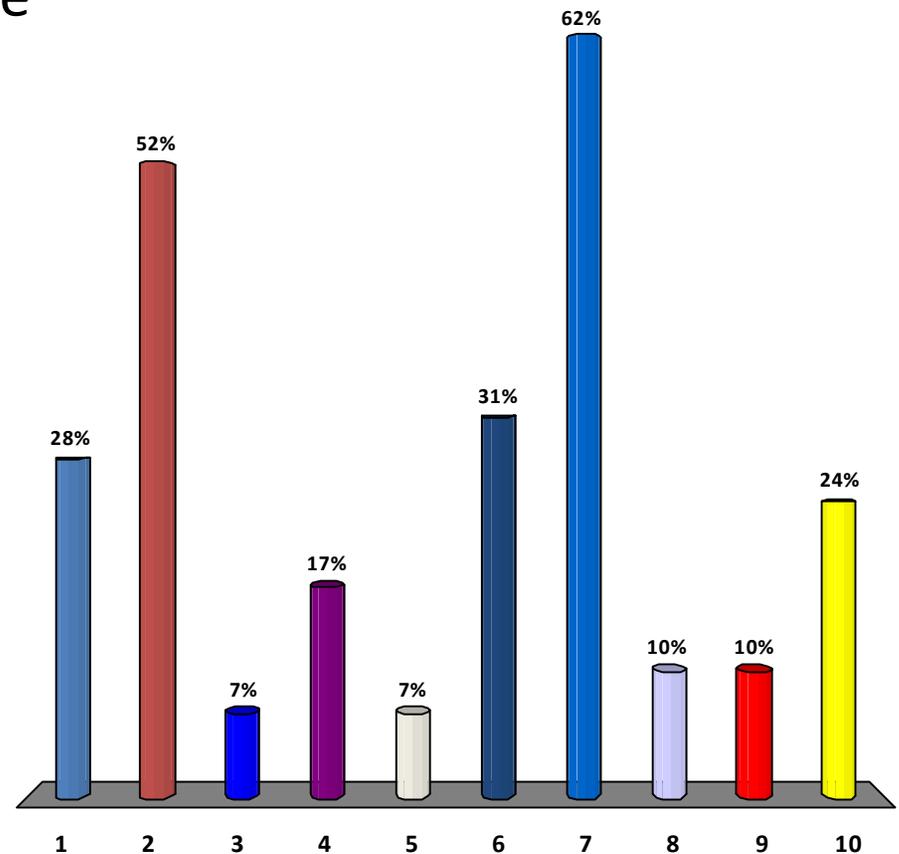
# What do you like most about the Oakdale neighborhood? Choose up to three.

1. Charming streetscape
2. Quality housing stock
3. Close to downtown
4. Close to stores and services
5. Safe and clean streets
6. I know all my neighbors
7. Proximity to recreation options
8. University of Southern Maine
9. Farmer's Market
10. Access to I-295 & rail/bus options

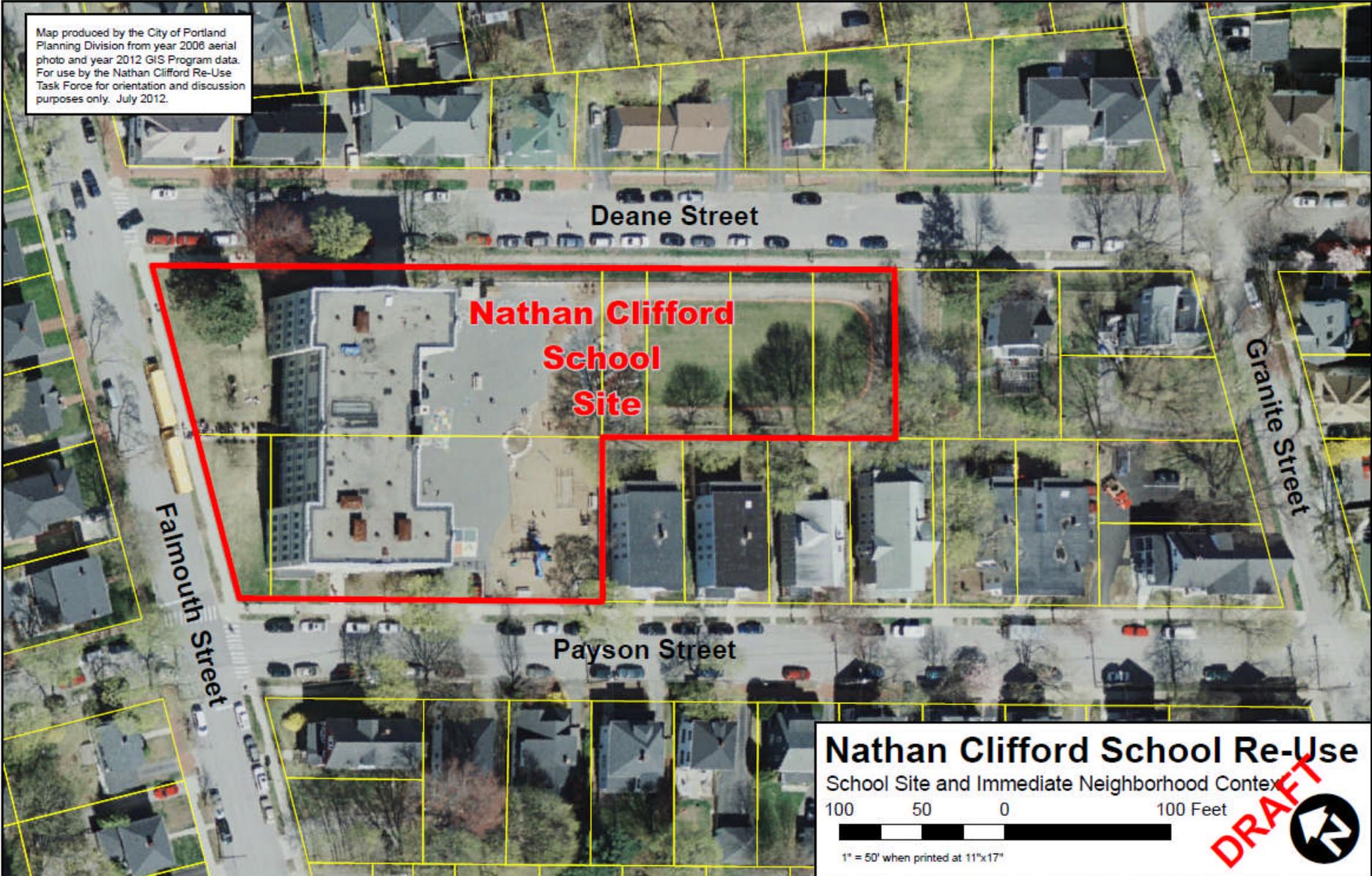


# What do you like least about Oakdale? Choose up to three.

1. Heavy traffic
2. No neighborhood gathering place
3. Too far from downtown
4. Housing is too expensive
5. Not easy to walk/bike
6. Not enough open space
7. The BIG 6-leg intersection
8. Distance to Ocean Ave school
9. Too much noise and crime
10. Lack of culture & nightlife



Map produced by the City of Portland Planning Division from year 2006 aerial photo and year 2012 GIS Program data. For use by the Nathan Clifford Re-Use Task Force for orientation and discussion purposes only. July 2012.



## Nathan Clifford School Re-Use

School Site and Immediate Neighborhood Context

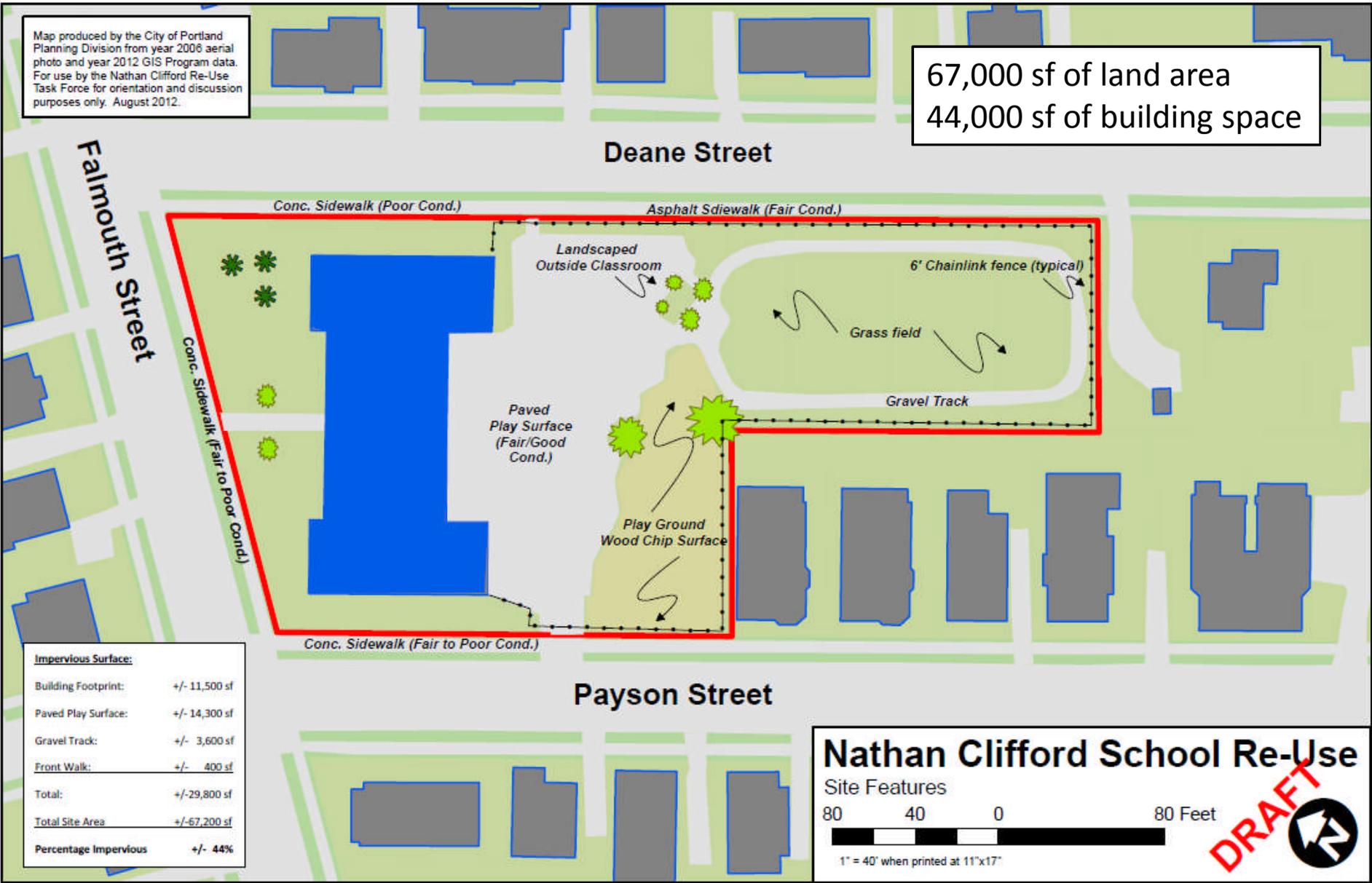
100 50 0 100 Feet

1" = 50' when printed at 11"x17"



Map produced by the City of Portland Planning Division from year 2006 aerial photo and year 2012 GIS Program data. For use by the Nathan Clifford Re-Use Task Force for orientation and discussion purposes only. August 2012.

67,000 sf of land area  
44,000 sf of building space



**Impervious Surface:**

Building Footprint:	+/- 11,500 sf
Paved Play Surface:	+/- 14,300 sf
Gravel Track:	+/- 3,600 sf
Front Walk:	+/- 400 sf
<b>Total:</b>	<b>+/- 29,800 sf</b>
<b>Total Site Area</b>	<b>+/- 67,200 sf</b>
<b>Percentage Impervious</b>	<b>+/- 44%</b>

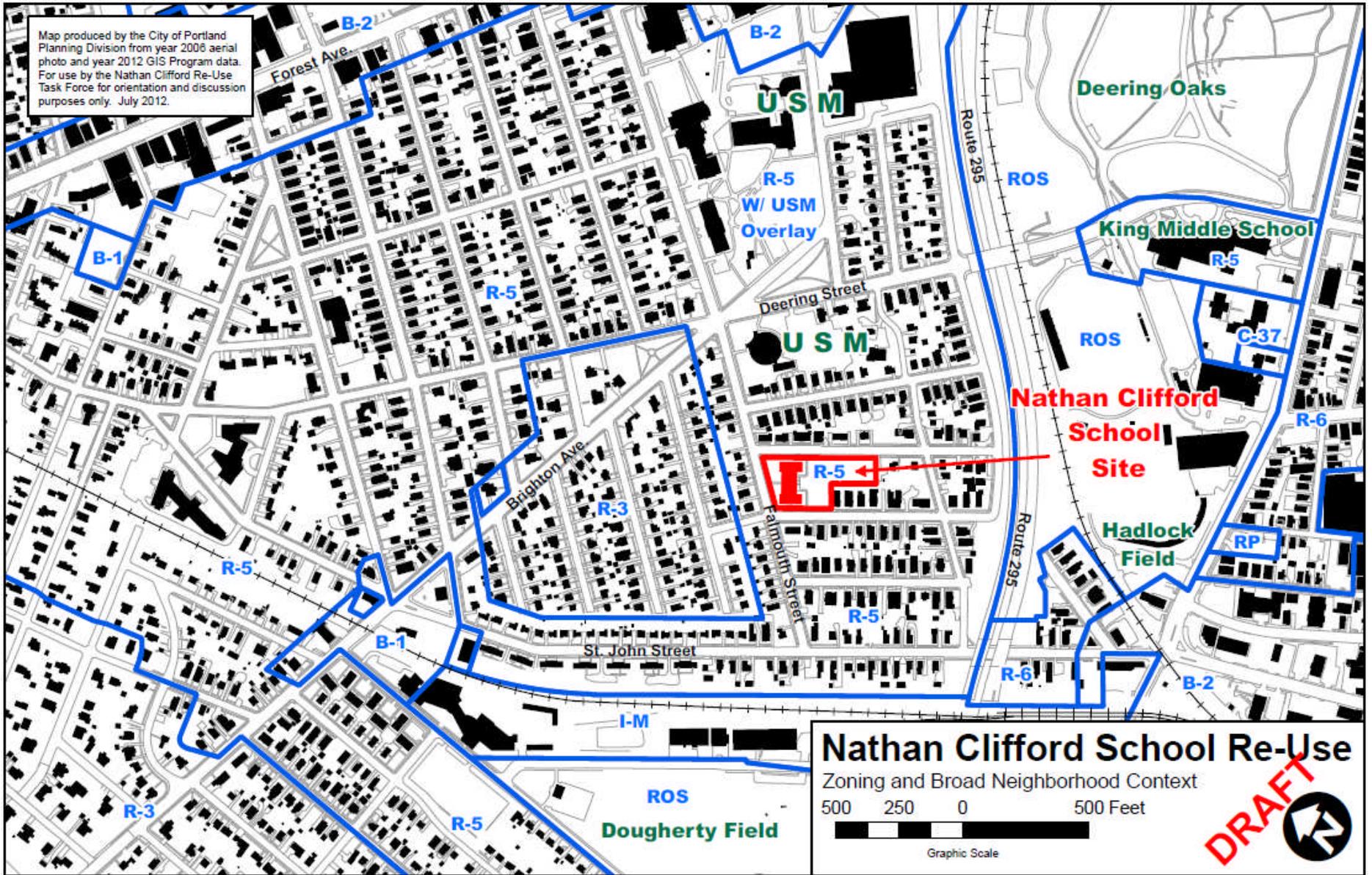
**Nathan Clifford School Re-Use**  
Site Features

80 40 0 80 Feet

1" = 40' when printed at 11"x17"

**DRAFT**

Map produced by the City of Portland Planning Division from year 2006 aerial photo and year 2012 GIS Program data. For use by the Nathan Clifford Re-Use Task Force for orientation and discussion purposes only. July 2012.



# Nathan Clifford School Re-Use

Zoning and Broad Neighborhood Context

500 250 0 500 Feet



Graphic Scale



**The Institutional Anchor  
of the Neighborhood**



**Neighborhood Asset**



**Play Ground, Snow Ban Parking**



**Fields and Open Space**

# Historic and Architectural Significance

- **John Calvin Stevens  
John Howard Stevens Design**
- **Dated 1907 Doors opened  
In 1909**
- **Eligible for listing on the  
National Register of  
Historic Places**



# Building Features



2 Open steel and terrazzo stairwells



Dean Street entrance detail



Fire Places in Principal's Office and Teacher's Room



2<sup>nd</sup> Floor Chalk Mural

## Interior Spaces



**Auditorium**



**Basement Gym**



**16 Class Rooms**



**Hallways and  
Common spaces**

## Conditions and Environmental Challenges



Porous Masonry



Degraded sidewalks

# Conditions and Environmental Challenges



**Water Damage and Failed Roof**



**Asbestos: flooring, pipes, plaster**



**Lead Paint**



**Outdated Systems and Accessibility**

# Zoning: Current Regulation on Use

## R-5, Residential Zoning

### *Permitted Uses*

- Single and lower density Multi-family Dwellings are the dominant uses allowed
- Parks and Open Space

### *Conditional Uses*

- Multi-family Dwellings in existing buildings

***(22 units would be allowed in the existing Nathan Clifford School using all the available land)***

- “Places of assembly” (places of worship, community halls...)
- Schools and colleges
- Smaller daycare facilities



***Current Zoning is potentially Subject to Change with Council Action***

# Potential Re-Uses

- **Residential**
- **Educational**
- **Community**
- **Commercial**
- **Mixed Use**

# Residential



# Residential

1. Affordable condominiums
2. Market rate condominiums
3. Affordable apartments
4. Market rate apartments
5. Student dormitories
6. Senior housing
7. Special Needs

# Educational



# Educational

1. Pre-Kindergarten
2. Private or charter school
3. Teachers' Academy
4. Adult Education
5. Senior College

# Community



# Community

1. Open space
2. Snow ban parking
3. Child care
4. Meeting space
5. Winter farmer's market

# Commercial



# Commercial

1. Retail
2. Restaurant
3. Corporate office – single user
4. Professional Offices
5. Artist Studios
6. Medical
7. Hotel

# Mixed Use

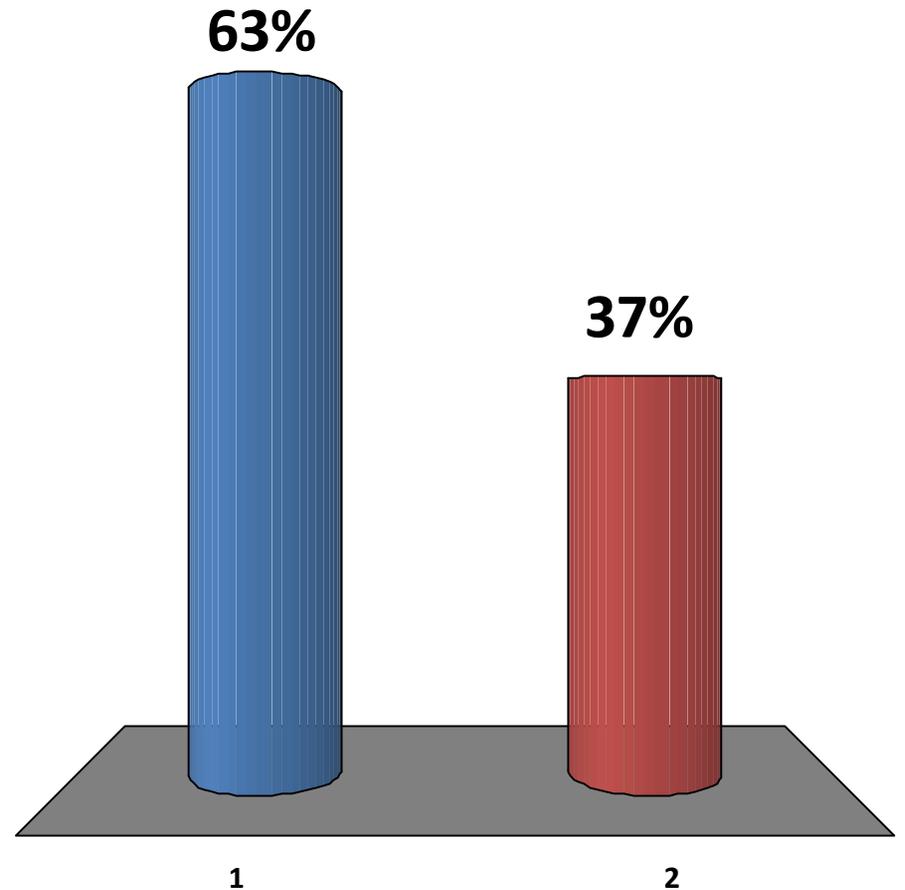


# Mixed Use

1. Residential
2. Educational
3. Community
4. Commercial

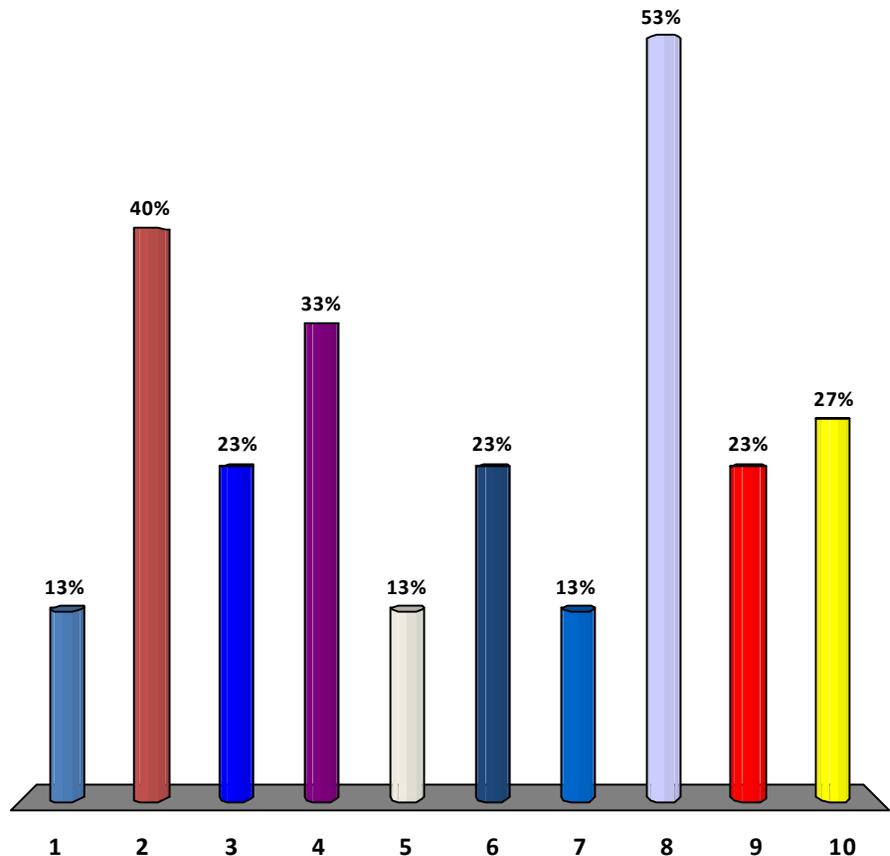
# Do you favor residential reuse of the Nathan Clifford School?

1. Yes
2. No



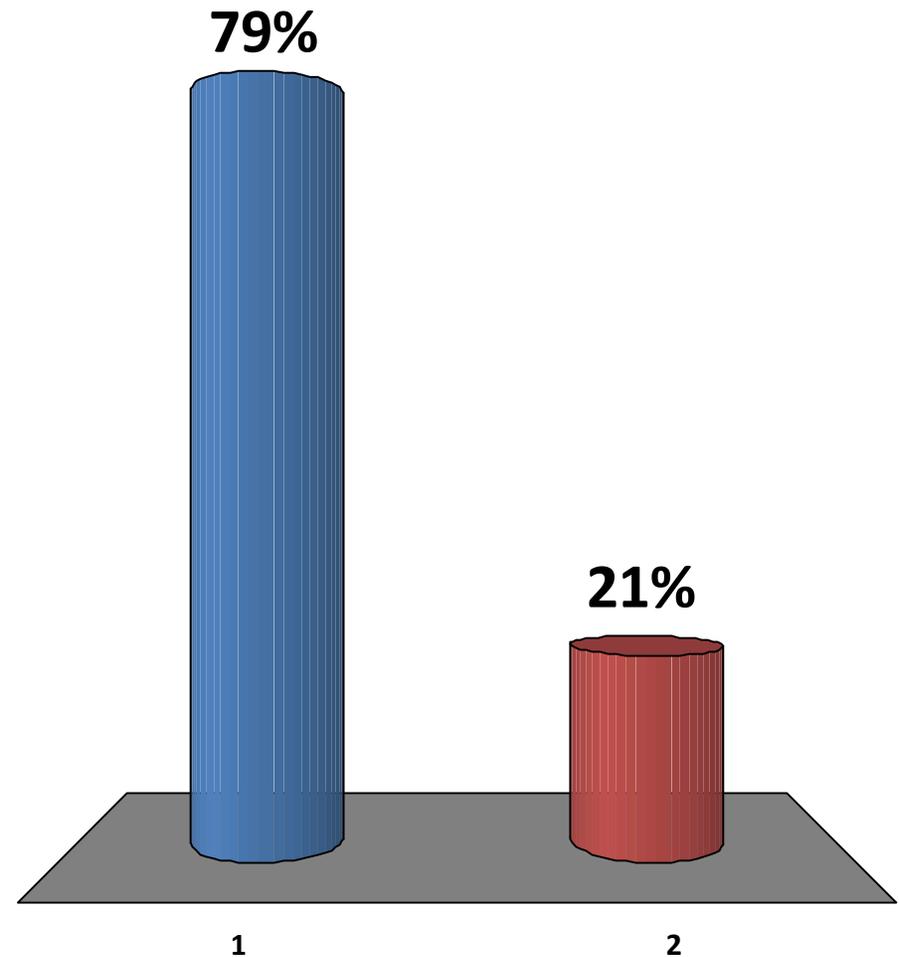
# What types of housing do you support? Choose up to three.

1. Affordable condominiums
2. Market rate condominiums
3. Affordable apartments
4. Market rate apartments
5. Student dormitories
6. Senior housing
7. Special Needs
8. Artists Live/Work
9. Mixed housing
10. Cooperative housing



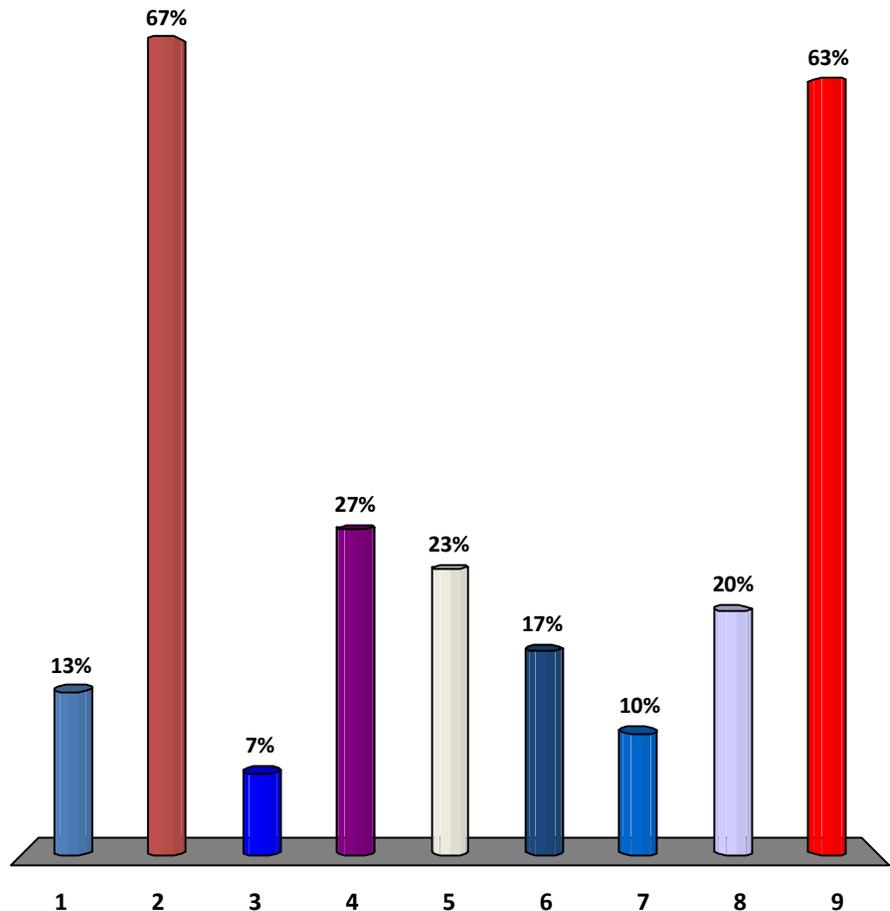
# Do you favor educational reuse of the Nathan Clifford School?

1. Yes
2. No



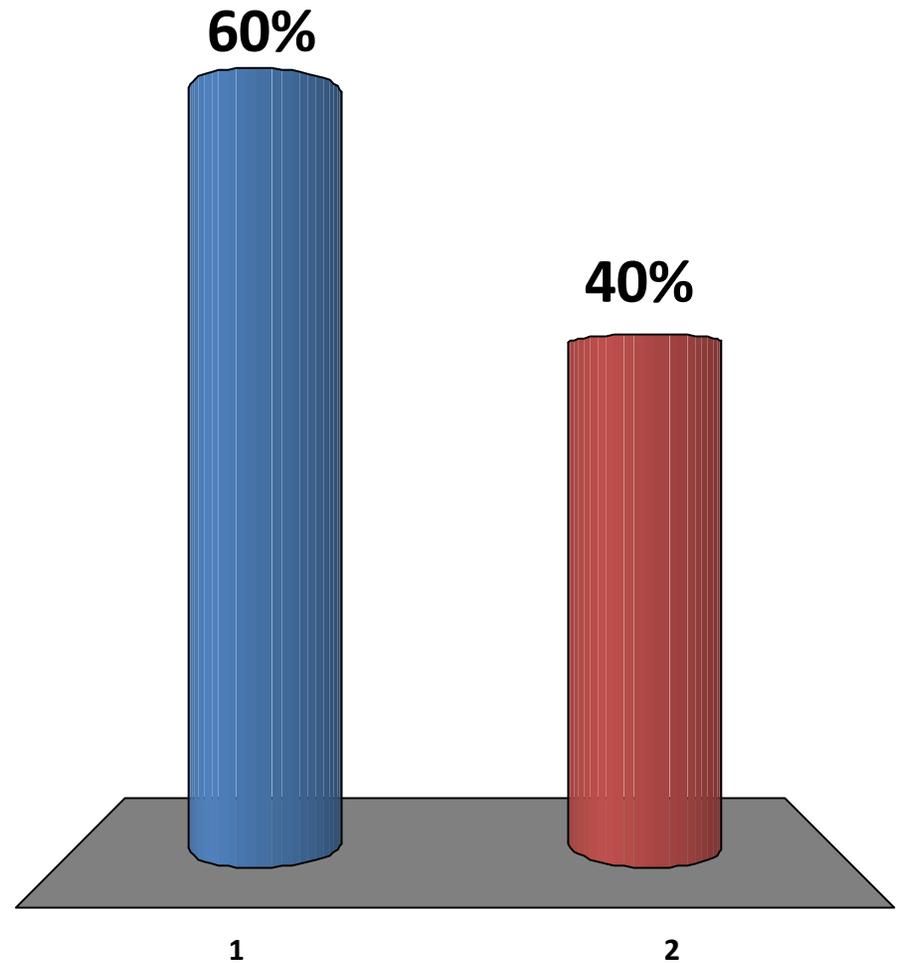
# What types of educational uses do you support? Choose up to three.

1. Pre-Kindergarten
2. Private or charter school
3. Teachers' Academy
4. Adult Education
5. Trade School
6. University
7. Senior College
8. Community "Free" School
9. Research institute



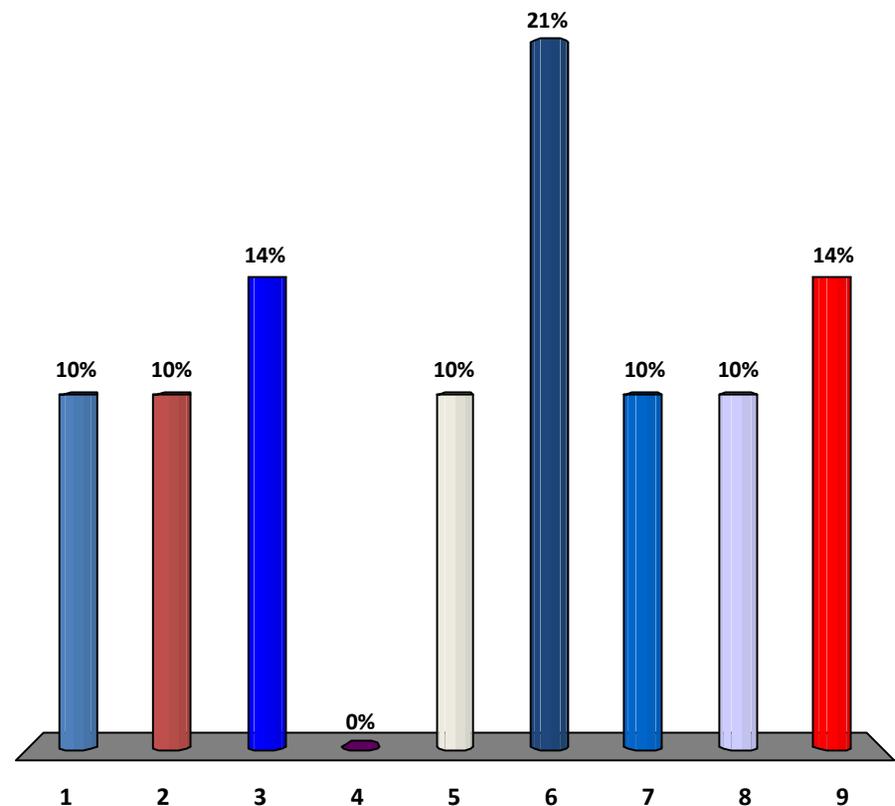
# Do you favor community reuse of the Nathan Clifford School?

1. Yes
2. No



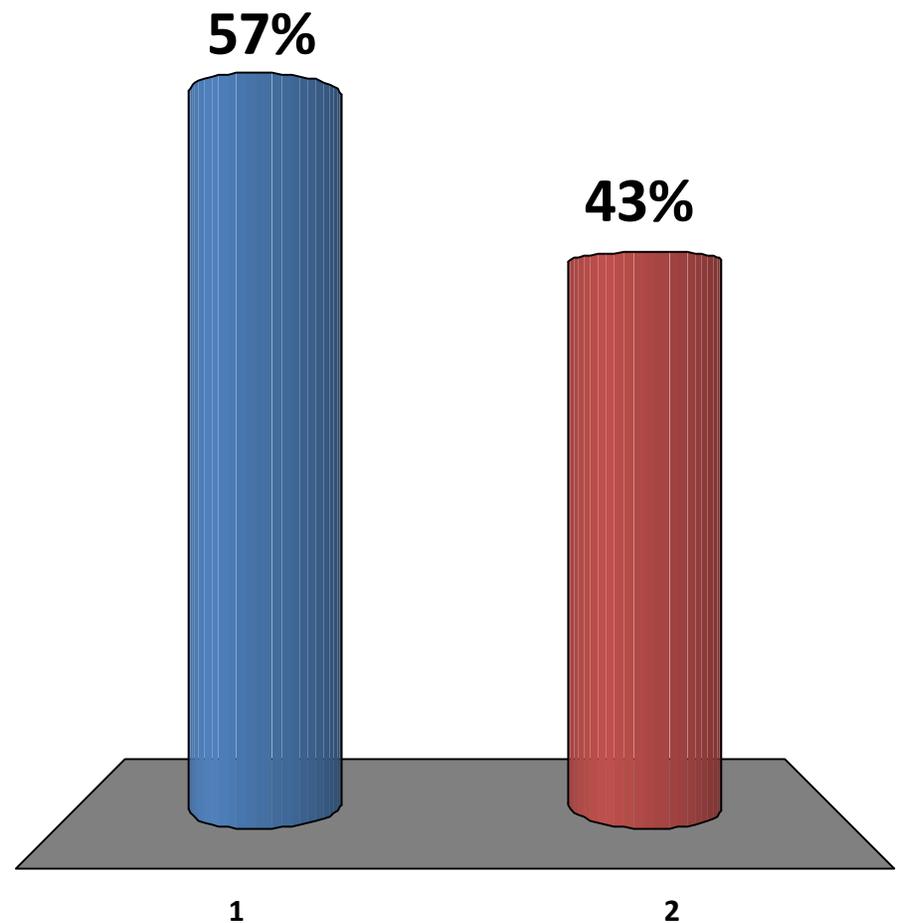
# What types of community use do you support? Choose up to three.

1. Open space
2. Snow ban parking
3. Child care
4. Meeting space
5. Winter farmer's market
6. Community garden
7. Community Hall/Performance Space
8. Youth Center
9. Library



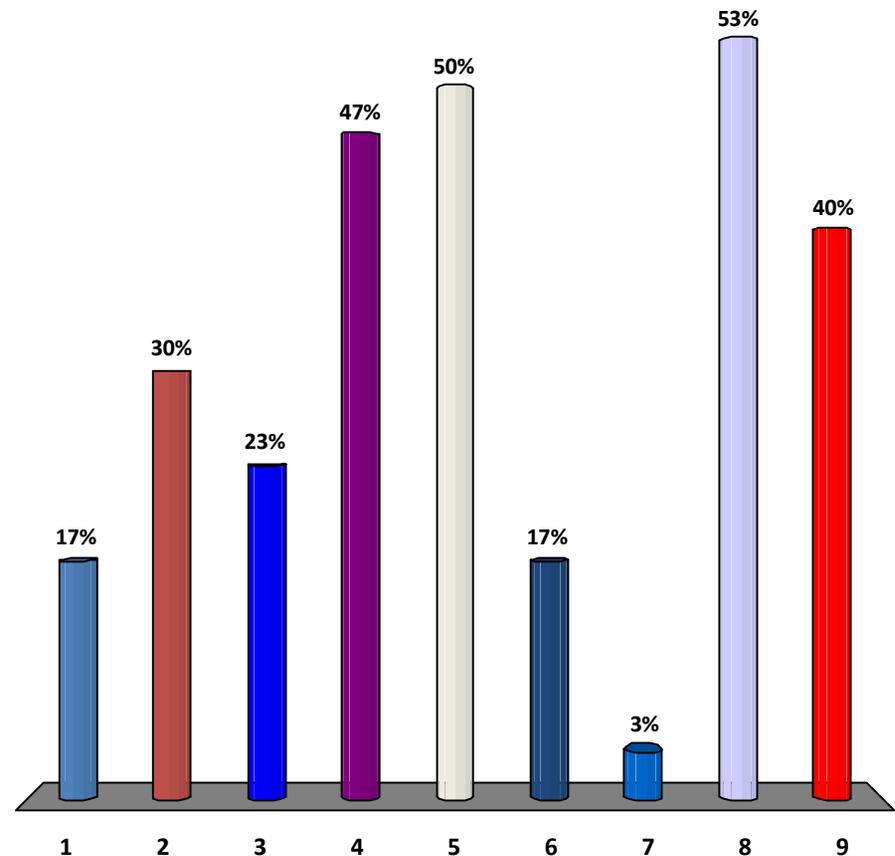
# Do you favor commercial reuse of the Nathan Clifford School?

1. Yes
2. No



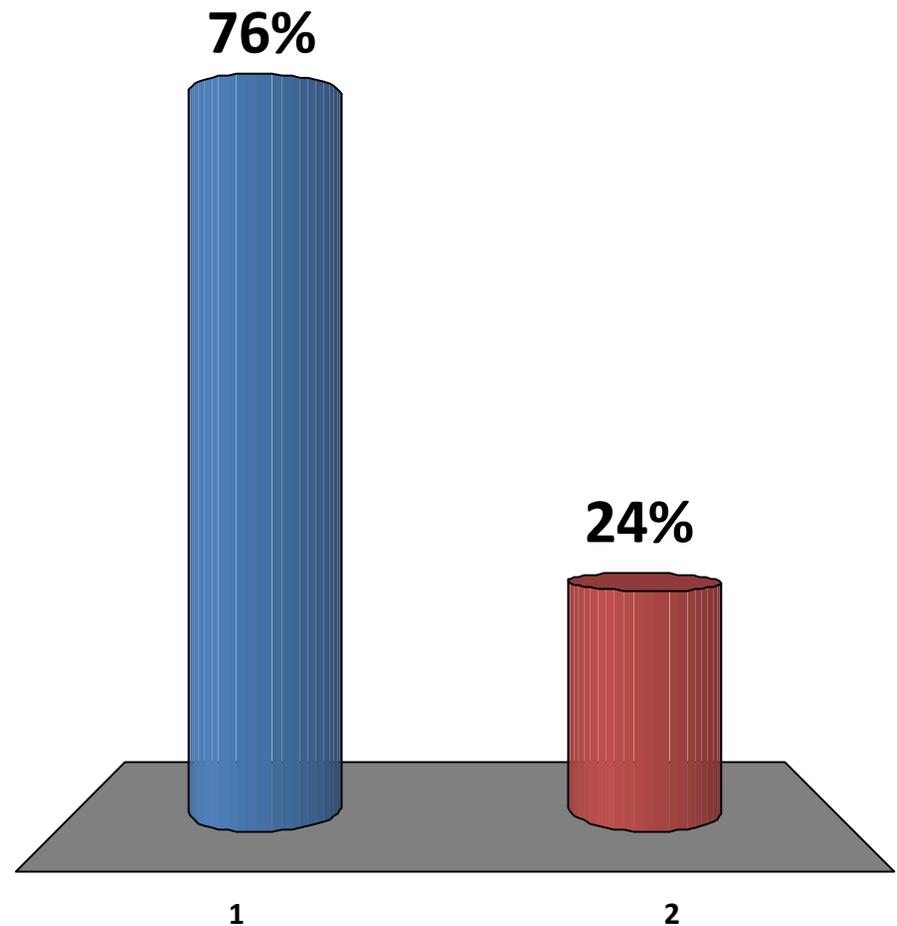
# What types of commercial uses do you support? Choose up to three.

1. Retail
2. Restaurant/Cafe
3. Corporate office – single user
4. Professional Offices
5. Artist Studios
6. Medical
7. Hotel
8. Research institute
9. High tech incubator



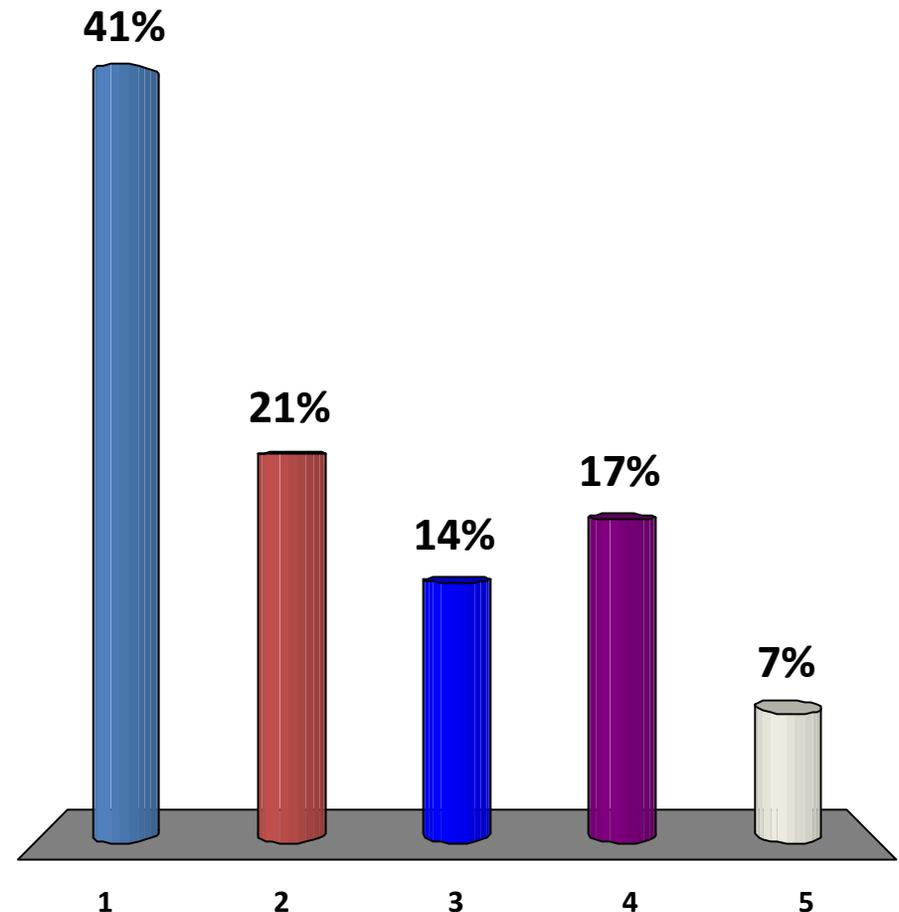
# Do you favor mixed uses at the Nathan Clifford School?

1. Yes
2. No



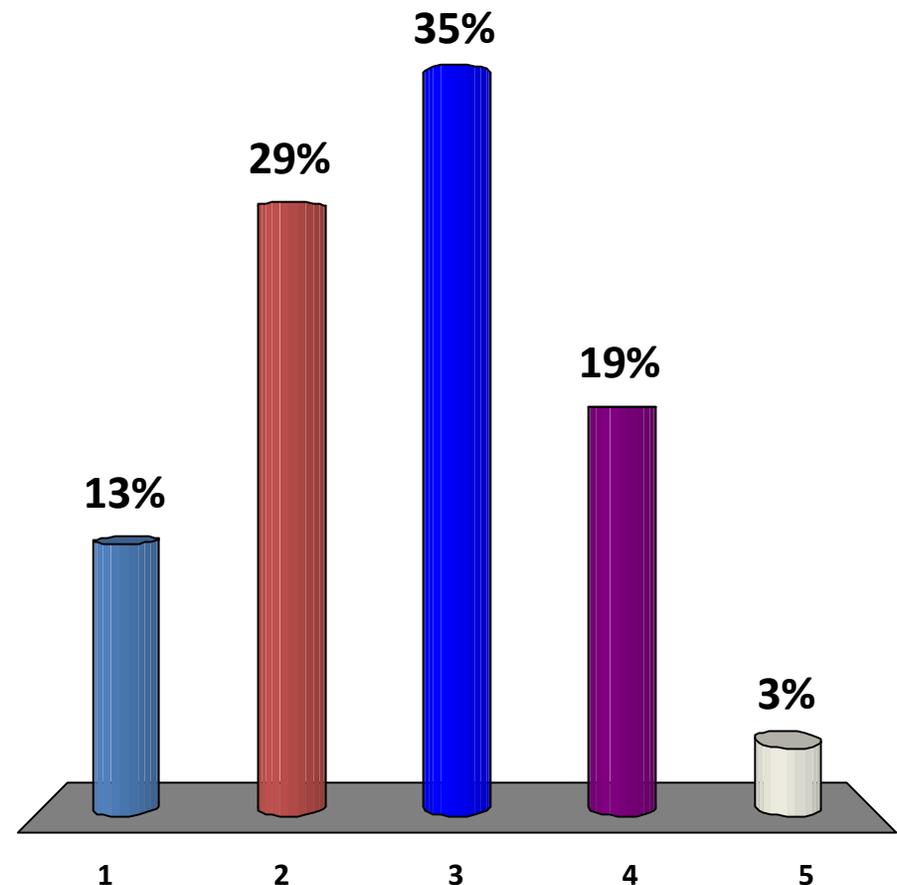
# In a mixed use building, what would you prefer to see as the dominant use?

1. Residential
2. Educational
3. Community
4. Commercial
5. No preference



# In a mixed use building, what would you prefer to see as the secondary use?

1. Residential
2. Educational
3. Community
4. Commercial
5. No preference



# Public Meeting

*On the future of the*

## **Nathan Clifford School**

### What's Next?

Housing?

Education?

Commercial?

Community?

Mixed Use?

*The Nathan Clifford Re-Use Advisory Task Force invites the public to hear concepts, provide input, and help prioritize ideas for the future use of the historic school*

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**What:**      **Public Meeting:**  
**Re-Use of Nathan Clifford School and Grounds**

**When:**    **October 2, 2012, 5:30 pm to 7:00 pm**

**Where:**   **City Hall, Room 209, 2<sup>nd</sup> floor**

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Questions and comments regarding the re-use of the Nathan Clifford School can be forwarded to Bill Needelman, Senior Planner at (207)874-8722 or emailed to [wnb@portlandmaine.gov](mailto:wnb@portlandmaine.gov). Information is available at: <http://www.portlandmaine.gov/nathanclifford.htm>

\*\*\*\*\* NOTICE \*\*\*\*\*

of  
Public Meeting

\*\*\*\*\*

**Nathan Clifford School Re-Use Forum:  
A Public Meeting on the Future Use of the Building and Grounds**

\*\*\*\*\*

The City of Portland and the Nathan Clifford Re-Use Advisory Task Force invite the public to provide input on the future of the Nathan Clifford School at 180 Falmouth Street.

The school has been declared surplus by the Portland Public Schools and is currently vacant. The Task Force was created by the City Council to recommend preferred uses for the Nathan Clifford property in anticipation of prioritizing future proposals for the re-use and/or redevelopment of the school and grounds. As part of their work, the Task Force seeks the opinions and insights from neighbors, former students and teachers, preservationists, real estate professionals, and anyone interested in the future of the historic property.

At the Public Meeting, City of Portland staff and Task Force members will present information on the current condition of the building as well as ideas for re-use that have been discussed.

The Public will be invited to provide additional ideas and will be asked to prioritize uses for the City Council's consideration.

Results from the Public Forum and the Task Force's recommendation will be reported to the City Council's Housing and Community Development Committee at a future meeting.

Questions and comments regarding the re-use of the Nathan Clifford School can be forwarded to Bill Needelman, Senior Planner at (207)874-8722 or emailed to [wbn@portlandmaine.gov](mailto:wbn@portlandmaine.gov).

Background material for the process and meeting is found at:  
<http://www.portlandmaine.gov/nathanclifford.htm>

\*\*\*\*\*

What: Nathan Clifford School Re-Use Public Meeting

When: October 2, 2012, 5:30pm to 7:00pm

Where: City Hall, Room 209, 2<sup>nd</sup> floor

**M E M O**

**Date:** September 10, 2012  
**To:** Bill Needelman, Senior Planner, City of Portland  
**From:** Caroline Paras, Economic and Community Planner,  
Greater Portland Council of Governments  
**Re:** Nathan Clifford School: Neighborhood Profile

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The purpose of this memo is to provide a historic and demographic snapshot of the Oakdale neighborhood for the Nathan Clifford Re-Use Task Force. Further detail and analysis can be generated on specific topics depending on the interests of the committee.

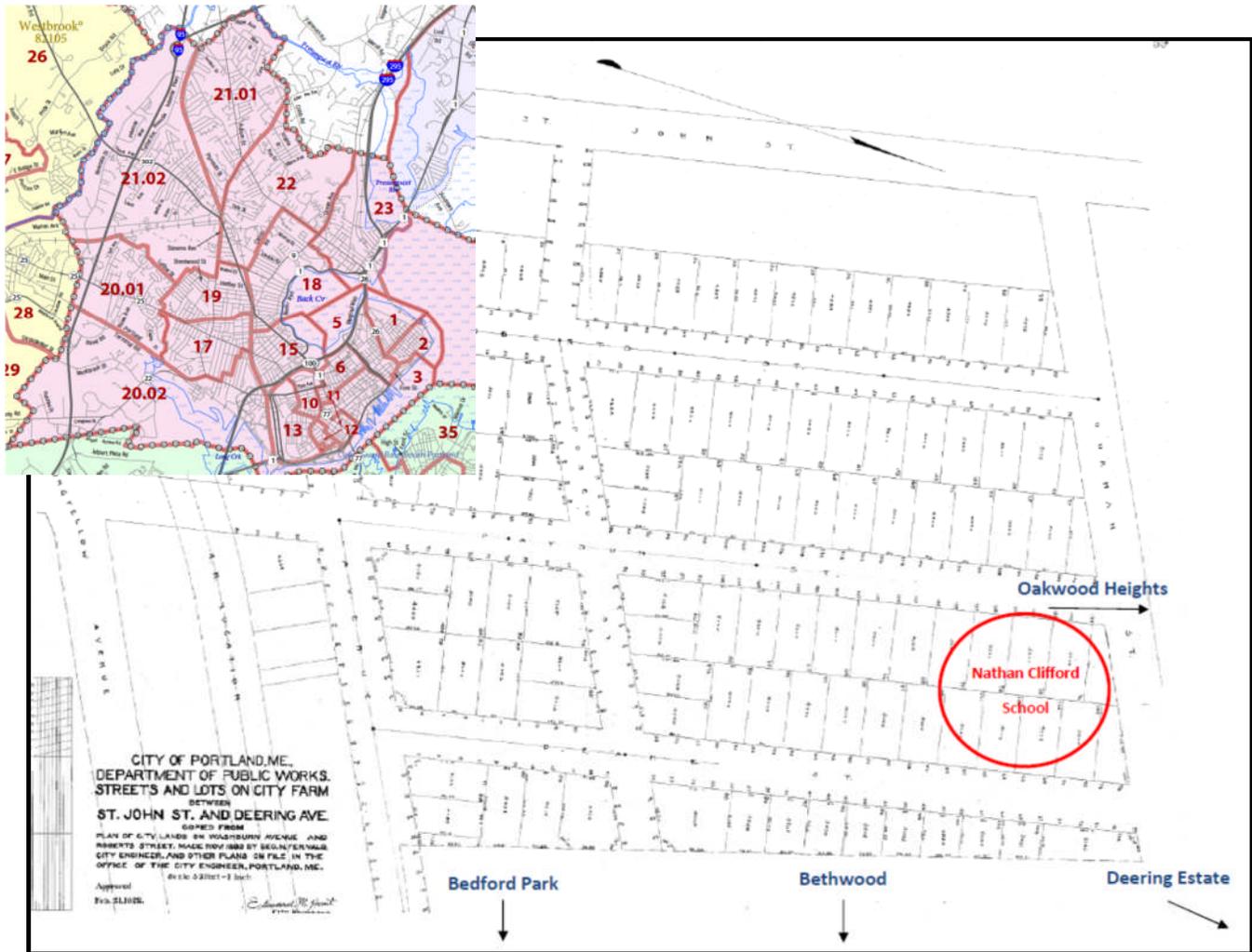
**Evolution of the Neighborhood**

At the turn of the 20<sup>th</sup> century, Portland was flush with the élan of a modern metropolis. Following the annexation of the Town of Deering in 1899, the city's population soared past the 50,000 mark. As Canada's winter port, the city looked forward to the construction of two grain elevators on the waterfront to store wheat bound for Europe. As the gateway to Maine, Portland boasted 65 trains daily plus international steamship service. An extensive network of trolleys enabled upper and middle families to move off the crowded peninsula.

No single project expresses the vitality of a city quite like the construction of a new school. From 1900 to 1910, Portland's school age population increased 14%, from 8,307 students to 9,482. Despite the presence of 37 schools, overcrowding was common, especially at the West, Winslow, Oakdale, and Butler schools. To accommodate the overflow, the district rented out tenement houses to serve as places of instruction.

The City was also faced with redundant assets. With two almshouses, one in both Deering and Portland, the City began to scout for a new location as well as to dispose of land adjacent to the City Farm. In 1893, the City carved out 121 lots on the City Farm, which encompassed 17 acres between Deane, Durham, Washburn, and St. John streets. These sold quickly, returning municipal property back to the tax rolls. Other subdivisions followed, including 176 lots on the Deering Estate, 27 lots in Bethwood, 45 lots in Bedford Park, and 121 lots in Oakwood Heights. These developments fielded a sizable neighborhood of families, now called Oakdale. Oakdale is part of Census Tract 15 in Portland.

In 1906, a cornerstone was laid for a new school on Durham Street, now present day Falmouth Street. The school would take three years to complete. On April 1, 1909, the Nathan Clifford School opened with 201 students in grades 1-9. Enrollment increased to 378 the following year. Students were transferred from Oakdale and Winslow, which led to the immediate closure of those schools.



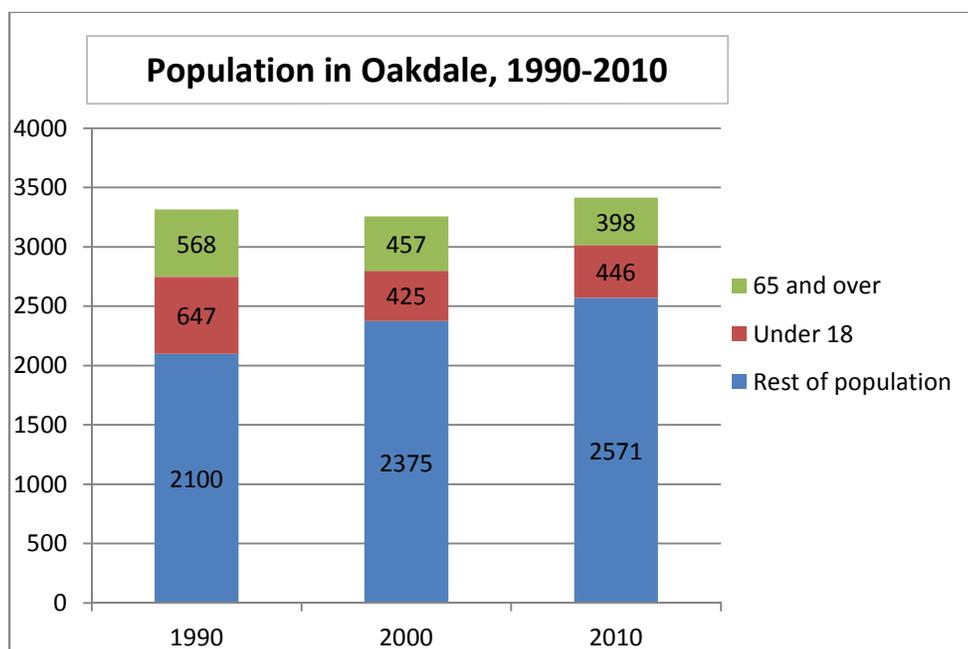
The school was named after Portland’s own Nathan Clifford (1803-1881), who served as U.S. Supreme Court Justice from 1858 to 1880 as well as Maine House Speaker, Maine Attorney General, U.S. Congressman, and U.S. Attorney General. The Justice’s grandson, also named Nathan Clifford, presided as mayor of Portland in 1906 when the school’s construction began.

Designed by renowned architect John Calvin Stevens and his son, John Howard Stevens, the Nathan Clifford School is a three-story building constructed of buff brick at a cost of \$135,057. The building, which totals 44,288 square feet, contains 16 classrooms laid out in an H-shape, with one classroom anchoring each corner of the structure. On February 24, 2010, the school was deemed eligible for nomination on the National Register of Historic Places by the Maine Historic Preservation Commission. Due to funding constraints, a full application to the National Register has not been submitted.

**Demographic Snapshot**

**Population.** Oakdale is contained within Census Tract 15 in Portland. The neighborhood is home to 3,415 residents, or 5% of the City’s population, an increase of 158 people since 2000. Over the last 20 years, the population of children under 18 has dropped by over 30%. The number of seniors age 65 and over has seen a similar decline, plummeting 30% from 568 in 1990 to 398 in 2010. Since 2000, several age cohort groups have shown significant gains:

- 5-9 Age Group: +26%
- 20-24 Age Group: +38%
- 55-59 Age Group: +85%
- 60-64 Age Group: +38%



Source: 1990, 2000 and 2010 U.S. Census

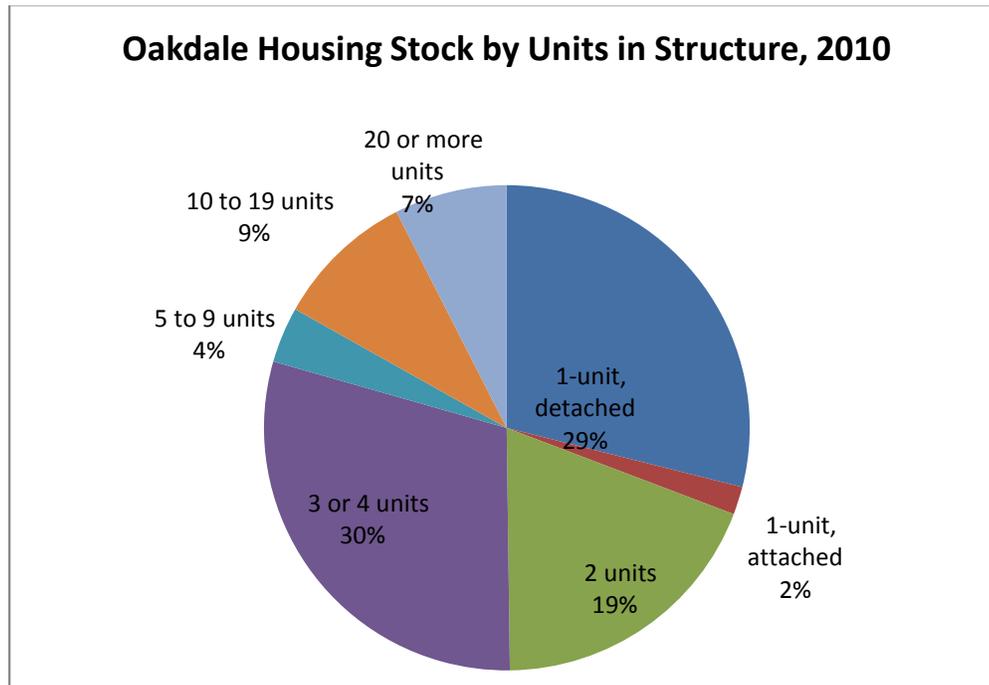
**Households.** Oakdale is home to 1,715 households. Individuals living alone comprise the largest segment of the population – 42% of all households. Married couples without children comprise the second largest, 14%, a decline of 13% since 2000. There are 284 households with children under 18 years of age: 59% are headed by married couples, and 25%, by single mothers. There are 337 households comprised of individuals age 65 and over, an increase of 23% since 2000. The vast majority of seniors, 69%, live alone.

### Oakdale Households by Type – 2000-2010

Households by Type	2000	2010	Change	Percent
<b>Households</b>	1,620	1,715	95	6%
<b>Families</b>	634	593	-41	-6%
With own children under 18 years	266	269	3	1%
Married-couple family	466	405	-61	-13%
With own children under 18 years	168	168	0	0%
Female householder, no husband present	134	127	-7	-5%
With own children under 18 years	78	70	-8	-10%
<b>Nonfamily households</b>	986	1,122	136	14%
Householder living alone	672	715	43	6%
Householder 65 years and over	153	234	81	53%
Households with individuals under 18 years	282	284	2	1%
Households with individuals 65 years & over	275	337	62	23%
<b>Average household size</b>	1.93	1.99	0.1	3%
<b>Average family size</b>	2.67	2.72	0.1	2%

Source: 2000 and 2010 U.S. Census

**Housing Units.** There are 1,826 housing units in Oakdale, an increase of 304, or 17%, since 2000. Rental units comprise 69% of the housing stock, compared to 57% for the city as a whole. According to the 2010 American Community Survey, the rental vacancy rate was 11.4%, and for homeownership, 0%. The housing stock is comprised primarily of multi-family structures with attached units. Single family homes comprise 29% of the housing stock, and multi-family units, 71%. Of the multi-family segment, the largest category is multiplexes of 3-4 units, 30%, followed by duplexes, 19%. Structures with 5 or more units comprise 20% of the housing stock.

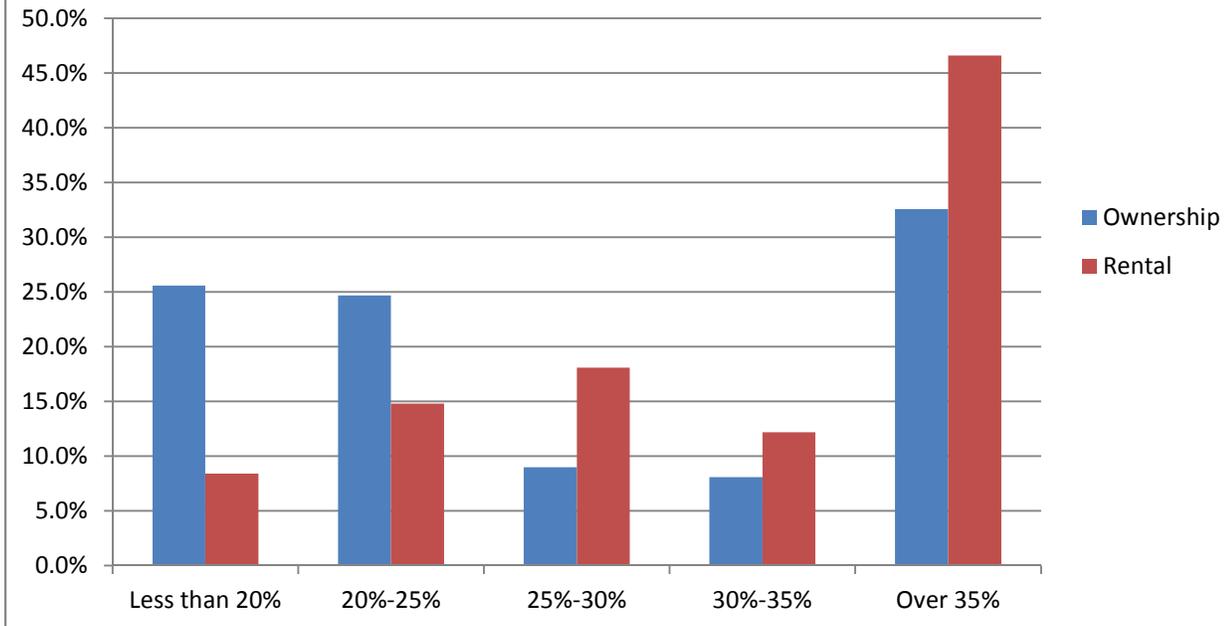


Source: 2006-2010 American Community Survey

**Housing Affordability.** Housing is considered to be affordable when monthly ownership costs or monthly rents do not exceed more than 30% of household income. About 40% of homeowners in the Oakdale neighborhood are considered to be cost burdened, because their mortgage costs exceed 30% of their household income. This percentage is the same in the rest of the city. In 2010, the median home value in Oakdale was \$284,200, compared to \$248,100 citywide, and the median mortgage cost, \$1,992. Home values are not based on actual sales but estimates of what owners think their home is worth.

About 60% of Oakdale renters, compared to 52% citywide, are considered to be cost burdened because their gross rent exceeds 30% of their household income. In 2010, the median rent in the neighborhood was \$927, compared to \$840 citywide. These values are estimates of what households actually pay and not what units would rent for if advertised on the open market.

### Monthly Costs of Oakdale Households as a Percentage of Household Income (2010)



Source: 2006-2010 American Community Survey

**Commuting.** Ninety percent of Oakdale’s households own at least one vehicle. Almost half own two or more. Despite the neighborhood’s proximity to the peninsula, almost 70% of workers drive to work alone, compared to 79% in the rest of the county. The balance of the workforce walks, 9.6%, carpools, 8.3%, rides the bus, 3.9%, and bicycles, 3%. The mean travel time to work is 19.3 minutes, an increase of 21% since 2000.

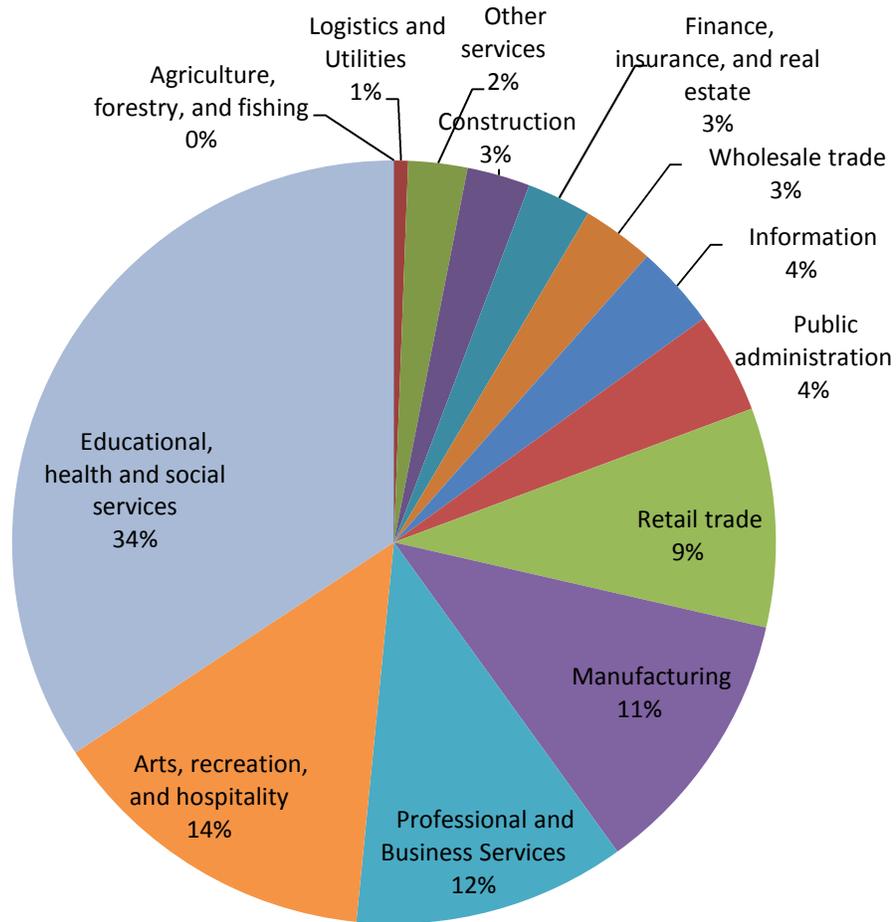
### Commute to Work by Oakdale Residents, 2000-2010

	2000	2010	Net Change	% Percent (2010)
Drove alone	1,515	1,278	-237	69.5%
Carpool	209	152	-57	8.3%
Public transportation	84	72	-12	3.9%
Walked	99	177	78	9.6%
Other means	23	56	33	3.0%
Worked at home	62	103	41	5.6%

Source: 2006-2010 American Community Survey

**Employment.** Approximately 70% of adults age 16 and over are in the labor force. Anchored by the campus of the University of Southern Maine and two large hospitals, over a third of Oakdale’s residents are employed in Education, Health Care, and Social Services. Thanks to a large population of young adults, the second largest segment, 14%, is employed in Arts, Recreation and Hospitality.

## Occupation of Oakdale Residents by Industry Sector (2010)



Source: 2006-2010 American Community Survey

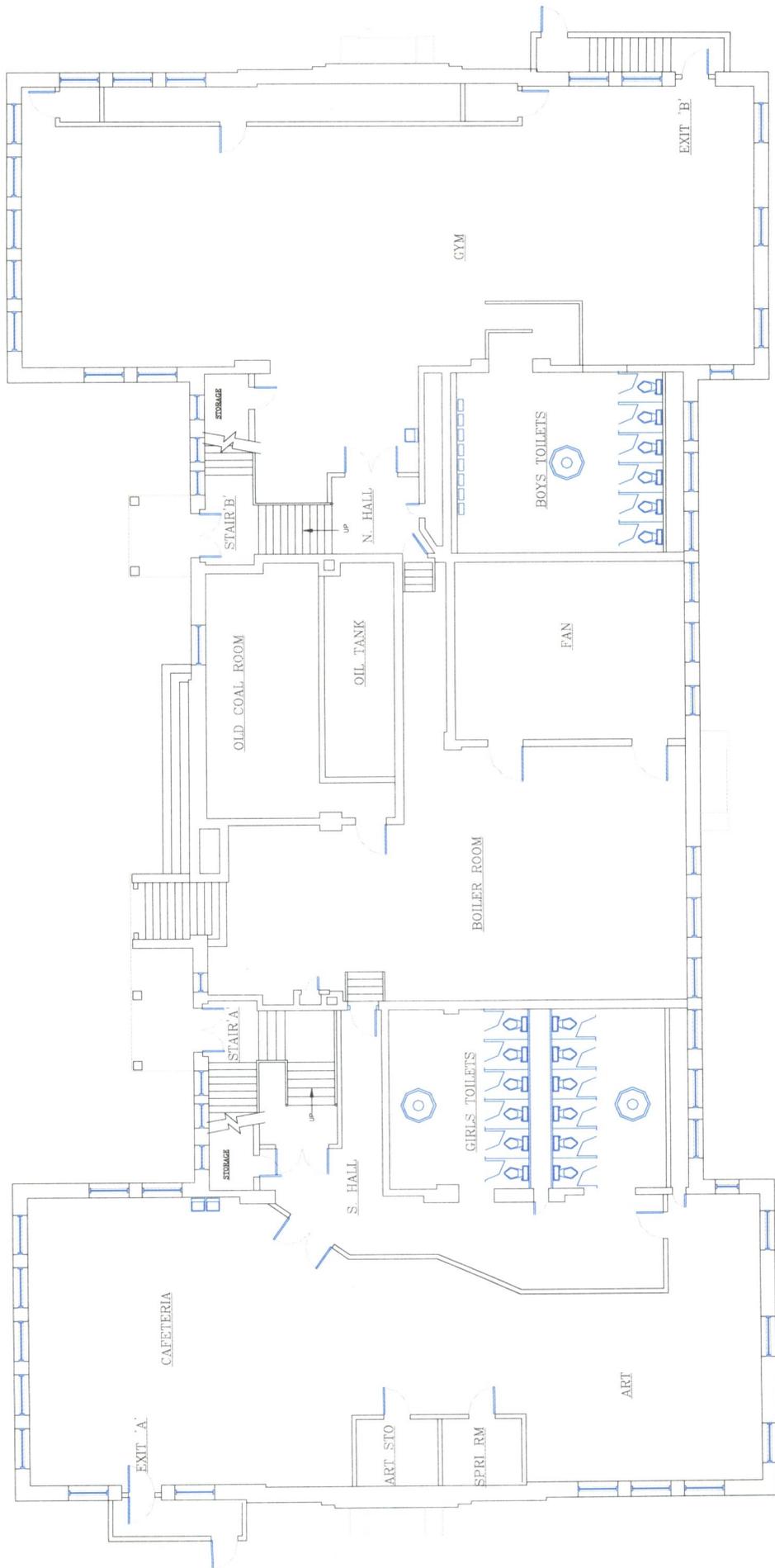
# NATHAN CLIFFORD SCHOOL

## About the School and Floor Plans

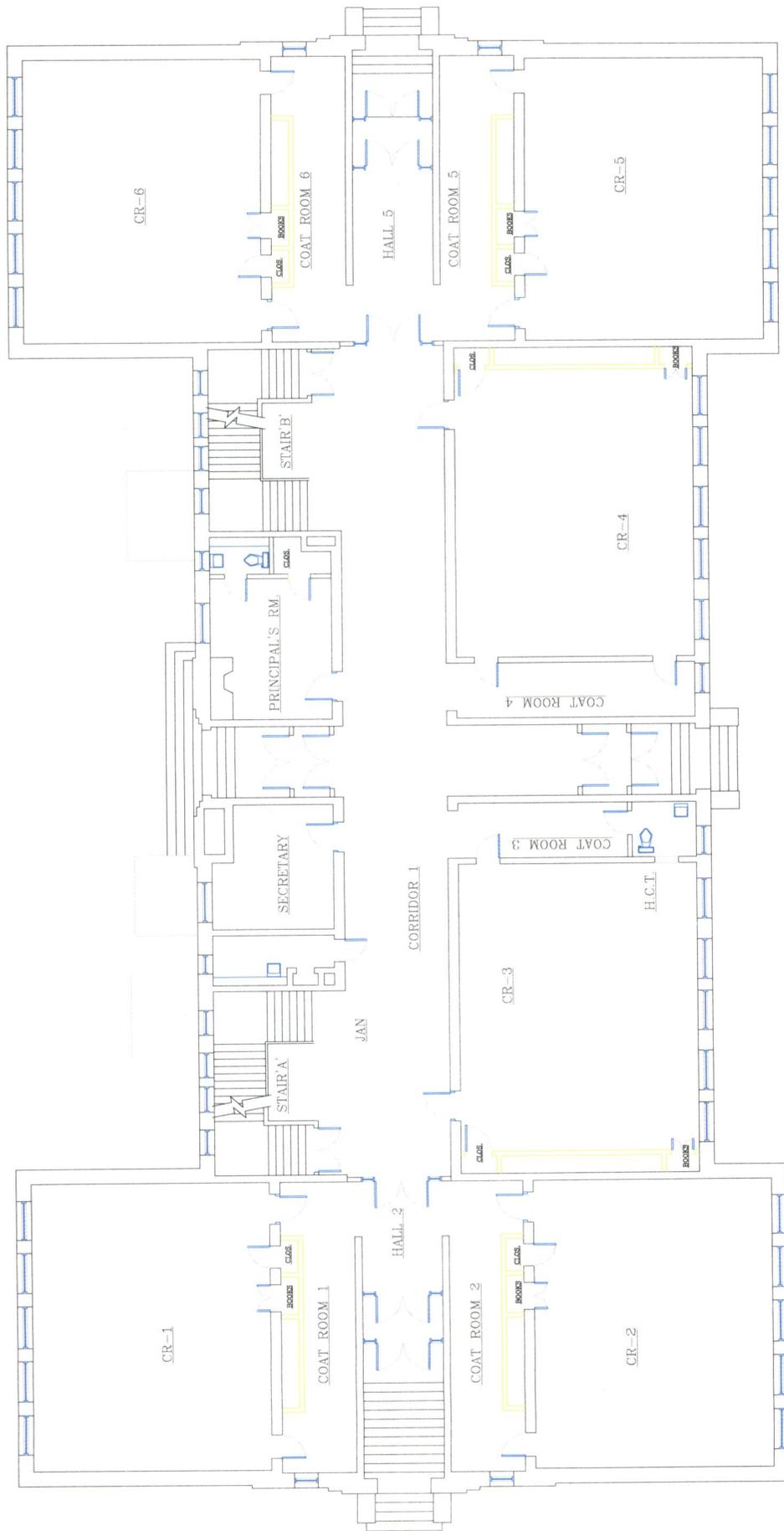


## NATHAN CLIFFORD SCHOOL NOTES

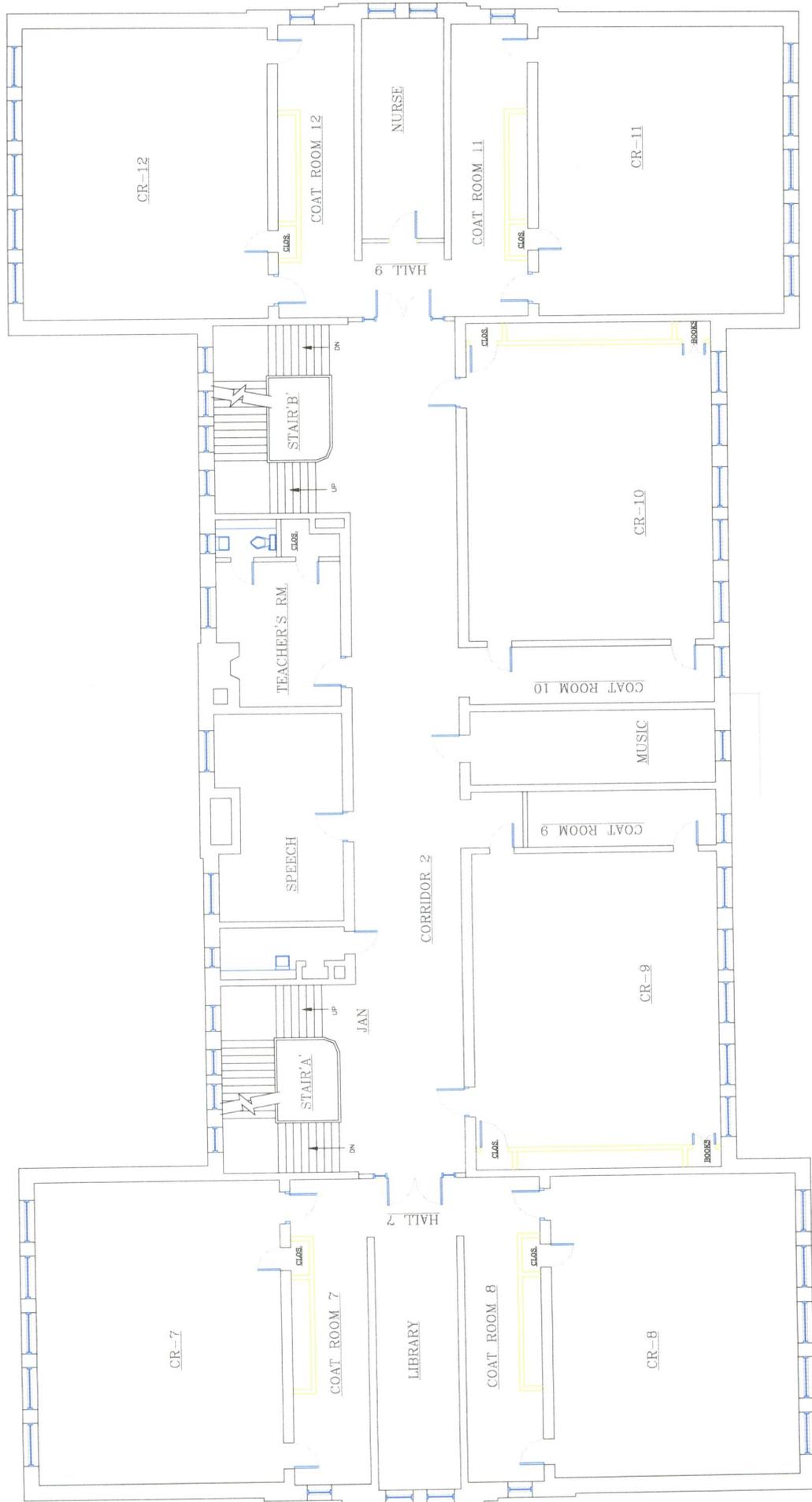
- Existing: 45,664 SF 4 story (17 rooms) 1905/07 Brick masonry bearing walls with the inner and outer wythes separated by  $\frac{3}{4}$  inch air space in some locations and the total thickness about 12 inches in the attic and 24 inches in the basement
- Concerns: ACM plaster walls/ceilings/pipe covers, non-compliant handrails, VAT, open staircases, loose coat hooks, deteriorated window conditions and no elevator or at grade entries.
- 2006/2007: Minor plaster repairs and stage improvements
- Late 2003: New Burnham model #L-100 Scotch design low pressure steam boiler with Webster burner and Autoflame Mark 6 burner control system installed, but the building has only one heat zone supplied through cast iron radiation network. The old Sturdivant ventilation system has been capped
- Reroofing tentatively scheduled for execution in 2002 was deferred.
- August 1994: New classroom (TRACO) windows installed by New Hampshire Glass
- 1990's: Extensive rebuilding or repointing of the exterior wythe occurred, but a small section on the west side was never completed.
- 1989: Chimney rebuilt (and subsequently repaired in 2008)
- 1985: Electrical upgrade
- WPA murals and "Robin Hood" chalk drawings to be removed, restored and placed elsewhere



BASEMENT PLAN  
 SCALE 1/8"=1'-0"

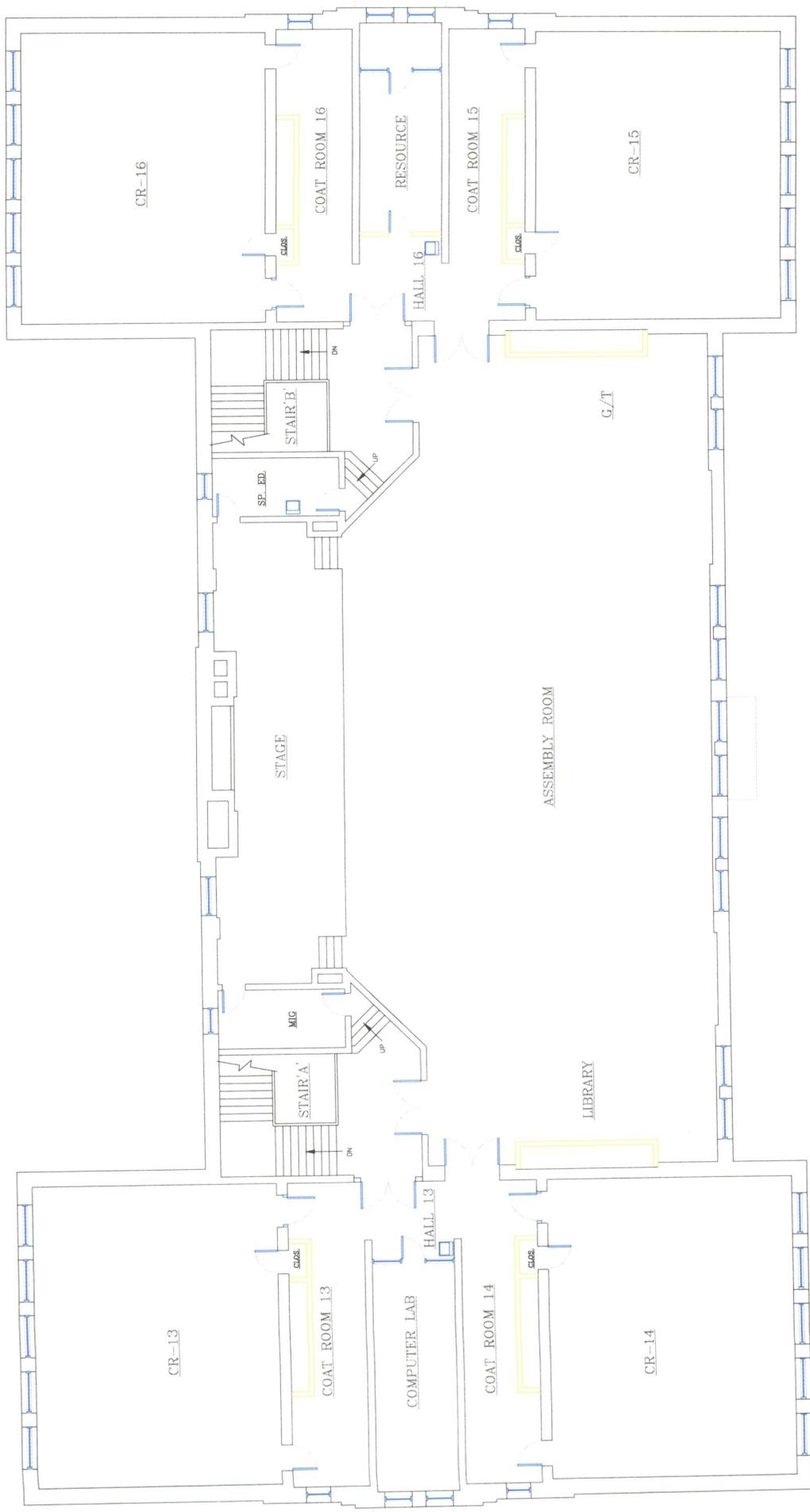


FIRST FLOOR PLAN



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



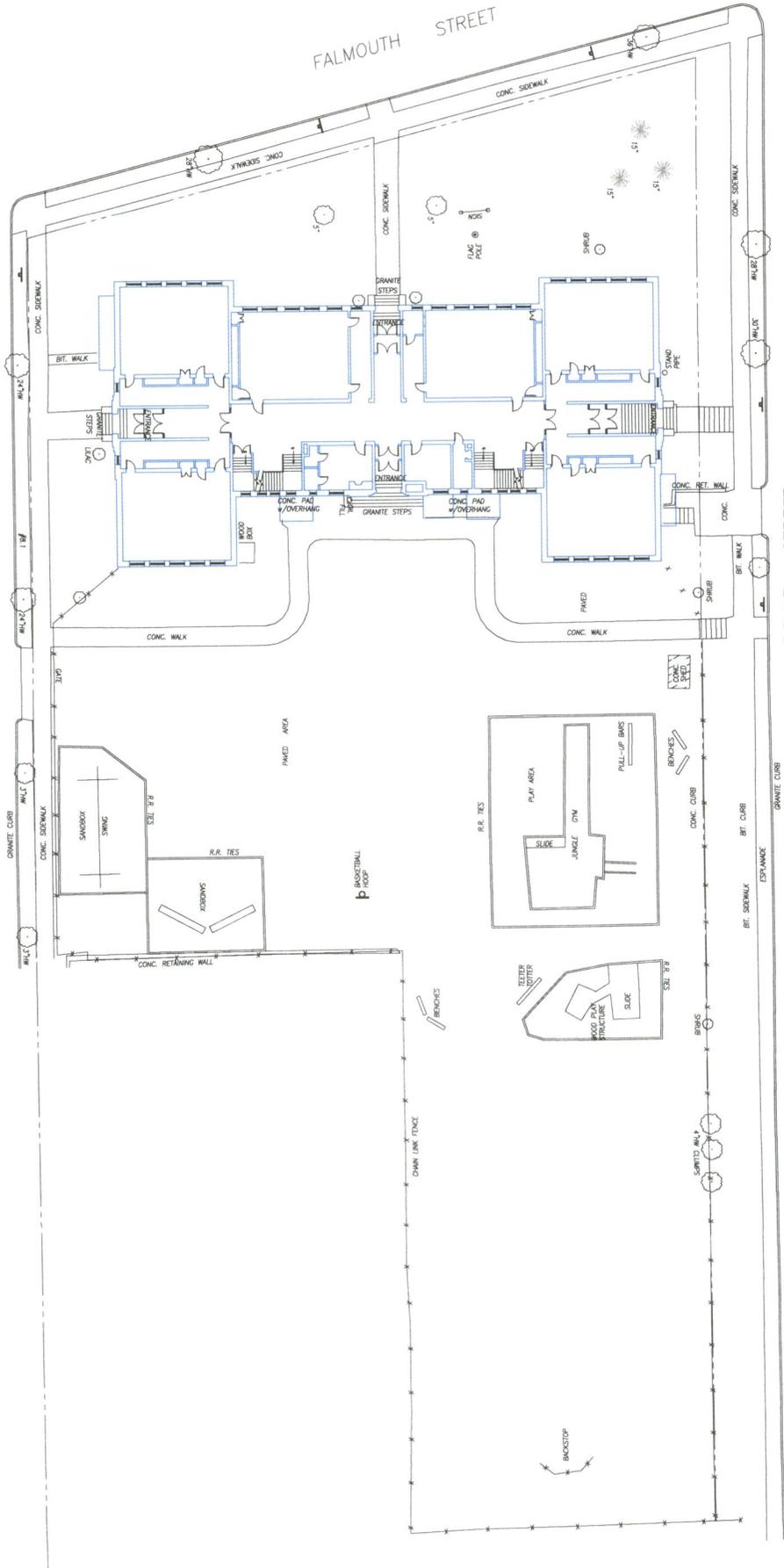
THIRD FLOOR PLAN  
SCALE: 1/8"=1'-0"

PAYSON STREET

FALMOUTH STREET

DEANE STREET

NATHAN CLIFFORD



28 September 2007

Portland City Council  
City Hall  
389 Congress Street  
Portland, Maine 04101

The logo for Barbā+Wheeloock is a blue, textured rectangular shape with the company name in white, uppercase letters.

Re: Nathan Clifford School Second Opinion

Dear Mayor Mavodones and Councilors:

I have been commissioned by The National Trust for Historic Preservation, Maine Preservation, and Greater Portland Landmarks to prepare a preliminary review of the New Construction vs. Renovation Portland Public Schools Draft Report, dated May 11, 2007, prepared by WBRC Architects and Engineers and offer a second opinion. Specifically I have been asked to address the cost differential between new and renovation scenarios to see whether there are alternatives that will continue to meet programmatic needs but retain the historic Nathan Clifford school for K-5 school use.

After reviewing the Draft Report and delving into some of the detail I am convinced that **the cost differential can be significantly reduced to the degree that retaining the Nathan Clifford School may become a viable option.** To what extent will depend on a more detailed review of the embedded logic through conversations with WBRC, the Portland School Board and/or Committee, and the Department of Education. Some of the differential has to do with State mandates, which are in conflict with best preservation practices for historic buildings.

WBRC has done an admirable job at comparing the five options to produce what appears to be an impartial assessment of the comparative values. However, the nature of comparative cost estimates is that they are broad brush. Creatively approaching the renovation of an historic school requires a different level of scrutiny to allow seemingly minor details to be questioned.

Note: 'Construction Costs' (Report, Cost Comparisons, Sections A) is a net cost. The Total Project Cost (Section E) is arrived at through applying percentage mark-ups of the construction cost to many of the line items in Administrative Costs & Reserve, Section B, and Fees and Services, Section C. These percentage mark-ups have an exponential affect once burdened by the soft costs to arrive at the Total Project Costs (Section E) which in Nathan Clifford's cost estimate is approximately 1.45 times higher. Therefore, identifying construction cost savings can have a great ripple effect.

With more time to delve into the details supporting this report, we would pursue the following questions/assumptions to arrive at a fully fleshed-out opinion.

**1. Efficient use of existing space**

The Nathan Clifford school concept design encompasses 62,760 sf as compared to a proposed new school of 52,000 sf. This amounts to 10,760 sf, or 20.6% more space in Nathan Clifford than a New K-5. The two proposals may achieve similar programmatic goals, however, the difference in area tips its hat to the problem that we are not dealing with an "apples to apples" comparison. In fact, the Nathan Clifford provides more space and thus, an attending greater cost. The cost differential between the Clifford School proposal of \$20.76 million and the New K-5 proposal of \$17.66 million is \$3.1 million or 17.5 percent more expensive. (see Report, pps. 41 and 44).

ARCHITECTURE  
PRESERVATION  
DESIGN

500 CONGRESS STREET  
PORTLAND, MAINE 04101  
FAX 207.772-3667  
TEL 207.772-2722

Therefore, reducing the size of the addition at Nathan Clifford without reducing the program is an important factor. One way is to reduce the programmed space for the addition (new construction) by seeking alternatives within the renovated (existing) part of Nathan Clifford. Additions cost more than renovations; by redistributing the programmed spaces and reducing the size of the addition there is a net possible area loss of 4,410 sf at \$165/sf this amounts to a cost savings of \$725,000 plus soft costs (x 45%) bringing the gross savings to as much as **\$1.05 million**. Some of these alternatives might include:

- a. Lower Level. Space that is being renovated could be better utilized as program space rather than mechanical to reduce the amount of needed new construction (and reduce the footprint, reducing the impact on the site). For instance, the seemingly redundant Mechanical Room at the Payson Street end of the school could be made into fully habitable space by creating windows with secure window wells. The central Boiler Room is larger than most school boiler rooms; is this Mechanical Room needed? The cafeteria could readily fit in the windowed and higher ceiling at the Deane Street end.
- b. The historic stairs could be retained and brought to code by adding fire-rated enclosures at each level. The wide corridors should allow sufficient space for egress. Currently the plan calls for removing the stairs, converting them to program space and constructing entirely new egress stairs to all floors, an expensive alteration.
- c. On the upper floors there are two coat closets and a room between them at each end of the school. While charming, these could be combined into additional program space, eliminating the need for the costly destruction and reconstruction of the character defining stairs. Lockers (wood or steel) could be added to the corridors as the corridor width and a new fire suppression system would permit these.
- d. By rearranging some of these program spaces efficiencies may also be obtained in the size of the lobby outside the new gymnasium.

## 2. Asbestos Summary

“Complete abatement of plaster systems. \$285,000.” (See Report, pps. 29-30.) In historic buildings of all uses it is rarely necessary, nor recommended practice to remove all of the interior plaster. Has the option of encapsulation been explored? Does the asbestos constitute a real threat to health and safety or is it only the areas touched during construction that need abatement.

This cost is a significant budget item. Not only does the report recommend removing all the plaster in the school, but new materials must be installed (lesser quality gypsum wallboard, wood trim) and paint. In addition, by removing the plaster walls it is more likely that concealed (and encapsulated) conditions could be revealed that now require abatement and additional unwarranted cost. The construction cost is likely to be over \$325,000. (Though it is not clear in the report, I believe this cost is buried in the renovation cost category.) When burdened with the soft costs it could result in **savings of \$470,000** or more.

3. **Renovation costs**

Typically renovation costs are about the same as new construction on a project of this scale. Why does the renovation cost come out to \$174/sf while new construction is carried at \$165/sf? What other costs are embedded in the scope of the renovations? A more detailed analysis could reveal unnecessary expenses or alternatives. For instance, are there plans to rehabilitate or replace the windows? The DOE has a policy for replacement, even though it is typically more costly, often unnecessary, and counter to best preservation practices. We have developed cost comparisons that take into account maintenance over time, warranties, and life cycle costs to demonstrate this point. Could this policy be challenged? Cost savings not able to be determined without further information.

4. **Site Development**

(See Report, p. 41, Project Budget, Line 5)

Site Development costs for each of the comparisons carry a number based on 10% of the Construction Cost. For Nathan Clifford this amounts to \$1.09 million, which, for an in-town site that is small and previously developed seems very high. Without knowing what scope is included in this savings are hard to predict. If the site development cost was closer to half this amount. The savings, burdened with soft costs **could be as much as \$725,000.**

5. **Environmental Permitting**

(See Report, p. 41, Project Budget, Line 21)

For an in-town site, the environmental permitting for this project should be minimal. There are no wetlands or environmental issues on a site that has been in school use for 100 years. Perhaps this line item includes planning board review. If so it could probably be reduced to \$10,000 from \$50,000, resulting in a **\$40,000 savings.**

6. **Surveys/Soils/Testing**

(See Report, page 41, line 24)

This item is valued at \$100,000, which seems high for an in-town site that is already developed, and carried at the same rate as for the completely new K-5 school.

7. **Value engineering**

If the architects were given the charge to scrutinize the budget for potential savings to reduce the cost to the same budget as new construction without sacrificing program or quality, it would be likely that they could readily achieve a 5% reduction in construction (net) cost, resulting in a project cost savings of 7.25% or **\$1.03 million savings.** One question that might be worth asking is if the DOE is willing to fund an \$18 million dollar school, what would an \$18 million dollar Nathan Clifford School renovation/addition look like? In other words, if the cost is neutral what are the trade-offs? The answer may be revealed other opportunities for cost reductions.

8. **Temporary Facilities**

Regardless of which option is ultimately selected one facet that should be scrutinized is the cost of Temporary Facilities. In each of the cost estimates 4% of the Construction Cost is carried for this line item. For Nathan Clifford this cost is \$437,650. With diminishing enrollment, it is conceivable that any one of

the schools being vacated could be used for temporary facilities for the project under construction, allowing a potential cost savings.

**9. Net differential**

**We've identified up to \$3.3 million in potential savings that will close the cost difference between the two scenarios.** By reviewing more available data and being allowed to ask about specifics of embedded thinking, working with WBRC Architects/Engineers we could confirm these assumptions and prepare a more conclusive report.

One final consideration is the inherent life span of Nathan Clifford as opposed to a New K-5 school. The decision of which site to select should not be based solely on first costs. If after careful scrutiny, reusing Nathan Clifford still ends up costing more, it should be remembered that Nathan Clifford has already stood the test of time in its 100-year service life. With renovations, its life span will be indefinitely expanded, conceivably for another 100 years.

The schools that are under consideration for demolition and replacement - Baxter and West, for instance - were built in the 1950s and 60s; once demolished this amounts to a 50 to 60-year life span. What are the expectations for life span for a new school built for \$165/sf, when the cost of replacing Nathan Clifford in-kind would be 100's of dollars per square foot greater if built today?

Renovating Nathan Clifford would result in the continuation of a neighborhood school that has continuously served its constituency for a century and will continue to serve.

I plan to be present for the Council Meeting on Monday, October 1, and would be happy to answer any questions you may have at the meeting.

Sincerely,



Nancy L. Barba, AIA, LEED AP  
Principal Architect

- c: Roberta Lane, National Trust for Historic Preservation
- Hilary Bassett, Greater Portland Landmarks
- Roxanne Eflin, Maine Preservation
- Earle G. Shettleworth, Jr., Maine Historic Preservation Commission

# FACILITY ASBESTOS SUMMARY REPORT

## **Nathan Clifford Elementary School**

The following asbestos summary report is a brief description of building materials that have been evaluated for asbestos content. The information provides a general overview of asbestos and non-asbestos building materials used in the construction of the facility.

More detailed information outlining the exact locations, quantities and condition of asbestos materials is summarized in the AHERA Management Plan and facility drawings.

### ***KNOWN ASBESTOS MATERIALS***

---

- |                                   |                                  |
|-----------------------------------|----------------------------------|
| * 9" x 9" floor tiles/adhesives   | * Non-fiberglass Pipe / fittings |
| * Hidden pipe cover/fittings      | * Old boiler components          |
| * Plaster wall systems throughout | * Plaster ceiling systems        |
| * Roofing perimeter flashings     |                                  |

### ***NON-ASBESTOS MATERIALS***

---

- |                                   |                    |
|-----------------------------------|--------------------|
| * 2' x 4' ceiling tiles           | * Roof deck system |
| * Fiberglass covered pipe systems |                    |

### ***BUILDING MATERIALS IMPRACTICAL TO TEST***

---

The following materials are typically suspect for asbestos content. Due to the nature of their location, condition, and composition testing is impractical until such time they can be damaged or accessed.

- |                                  |                                     |
|----------------------------------|-------------------------------------|
| * Chalk board systems / adhesive | * Fire doors / insulated wood doors |
| * Internal boiler components     | * Underground piping                |
| * Roofing under new rubber roof  | * Gasketing / vibration boots       |

**FACILITY ASBESTOS SUMMARY REPORT  
NATHAN CLIFFORD SCHOOL  
PAGE TWO**

***ASBESTOS ABATEMENT PHASING***

---

- |                             |                              |
|-----------------------------|------------------------------|
| * Cafeteria floor tiles     | * Basement pipe cover        |
| * First floor - floor tiles | * Second floor - floor tiles |
| * Basement - plaster        | * First floor - plaster      |
| * Second floor plaster      | * Misc. pipe cover locations |

***ASBESTOS ABATEMENT COSTS***

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Projected asbestos removal and disposal costs inclusive of design / management fees.

Complete abatement of asbestos flooring materials:	\$ 25,000.00
Complete abatement of asbestos pipe cover:	\$ 15,000.00
Complete abatement of abatement of plaster systems:	\$285,000.00
Hidden material and hazardous materials contingency:	\$30,000.00
<b>Estimated budgetary allowance:</b>	<b>\$355,000.00</b>

***OTHER SUSPECT HAZARDOUS MATERIALS***

---

- |                              |                       |
|------------------------------|-----------------------|
| * Florescent light ballast's | * Mercury thermostats |
| * Mercury switches           | * Lead based paint    |



**Portland School Department**  
**Elementary**  
 Grades K-5  
 Enrollment 400  
 Area per Student 157

**Clifford**

**WBRC Architects-Engineers, Inc.**  
**Site Comparison Budget**  
 April 12, 2007

	Major Capital Improvement Program			Other Funding	
	State/ Local	Local Only	Total	Me.High Perf. Schools	
<b>A CONSTRUCTION</b>					
1 New Construction	17,100 sf \$ 165 \$/sf	\$2,821,500	\$0 *	\$2,821,500	\$0
2 Renovations	45,660 sf	\$8,119,741	\$0 *	\$8,119,741	\$0
3 Built in Equipment	6%	\$656,474	\$0 *	\$656,474	\$0
4 Technology & Communications Infrastructure	3%	\$328,237	\$0 *	\$328,237	\$0
5 Site Development	10%	\$1,094,124	\$0 *	\$1,094,124	\$0
6 Temp. Classrooms & Phasing	4%	\$437,650	\$0 *	\$437,650	\$0
7 Sewer & Water	Is	\$80,000	\$0 **	\$80,000	\$0
8 Off Site Improvements	Is	\$80,000	\$0 **	\$80,000	\$0
9 Demolition/Hazardous Removal		\$710,000	\$0 **	\$710,000	\$0
<b>Subtotal</b>		<b>\$14,327,726</b>	<b>\$0</b>	<b>\$14,327,726</b>	<b>\$0</b>
<b>B ADMINISTRATIVE COSTS &amp; RESERVE</b>					
10 Land		\$0	\$0 **	\$0	\$0
11 Moveable Equipment	6% or Is	\$748,572	\$0 *	\$748,572	\$0
12 Technology	3%	\$429,832	\$0 *	\$429,832	\$0
13 Advertising/Insurance/legal	Is	\$100,000	\$0	\$100,000	\$0
14 % for Art	Is	\$50,000	\$0	\$50,000	\$0
15 Bid Contingency 5%	5%	\$716,386	\$0 *	\$716,386	\$0
16 Construction Contingency 5%	7.5%	\$1,074,579	\$0 *	\$1,074,579	\$0
17 Design Contingency	10%	\$1,432,773	\$0 **	\$1,432,773	\$0
<b>Subtotal</b>		<b>\$4,552,142</b>	<b>\$0</b>	<b>\$4,552,142</b>	<b>\$0</b>
<b>C FEES AND SERVICES</b>					
18 Architect/Engineer	8.0%	\$225,720	\$0 *	\$225,720	\$0
19 Architect/Engineer Concept (Renovation)	9.5%	\$1,093,091	\$0 *	\$1,093,091	\$0
20 A/E Reimbursable		\$100,000	\$0 **	\$100,000	\$0
21 Environmental Permitting		\$50,000	\$0	\$50,000	\$0
22 Life Cycle Cost Analysis		\$5,000	\$0	\$5,000	\$0
23 Commissioning	1%	\$109,412	\$0 **	\$109,412	\$0
24 Surveys/Soils/Testing		\$100,000	\$0	\$100,000	\$0
25 Owners Representative		\$50,000	\$0 *	\$50,000	\$0
26 Clerk of the Works		\$150,000	\$0 *	\$150,000	\$0
<b>Subtotal</b>		<b>\$1,883,224</b>	<b>\$0</b>	<b>\$1,883,224</b>	<b>\$0</b>
<b>D PROJECT TOTALS</b>		<b>\$20,763,092</b>	<b>\$0</b>	<b>\$20,763,092</b>	<b>\$0</b>
<b>E TOTAL PROJECT COST</b>	(Including All Available Project Funds)			<b>\$20,763,092</b>	

\* Due to the fact that "Local Only" money is in the project a portion of this line item will be at local expense.

\*\* Due to the fact that "Local Only" money is in the project a portion of this line item may possibly be at local expense



**Portland School Department  
 Elementary**

Grades K-5  
 Enrollment 400  
 Area per Student 130

# New K-5

**WBRC Architects-Engineers, Inc.  
 Site Comparison Budget**

March 22, 2007

	Major Capital Improvement Program			Other Funding	
	State/ Local	Local Only	Total	Me.High Perf. Schools	
<b>A NEW CONSTRUCTION</b>					
1 New Construction	52,000 sf \$ 165 \$/sf	\$8,580,000	\$0 *	\$8,580,000	\$0
2 Renovations	sf \$ - na	\$0	\$0 *	\$0	\$0
3 Built in Equipment	6%	\$514,800	\$0 *	\$514,800	\$0
4 Technology & Communications Infrastructure	3%	\$257,400	\$0 *	\$257,400	\$0
5 Site Development	30%	\$2,574,000	\$0 *	\$2,574,000	\$0
6 Sewer & Water	ls	\$50,000	\$0 **	\$50,000	\$0
7 Off Site Improvements	ls	\$100,000	\$0 **	\$100,000	\$0
8 Demolition/Hazardous Removal		\$400,000	\$0 **	\$400,000	\$0
<b>Subtotal</b>		<b>\$12,476,200</b>	<b>\$0</b>	<b>\$12,476,200</b>	<b>\$0</b>
<b>B ADMINISTRATIVE COSTS &amp; RESERVE</b>					
9 Land		\$0	\$0 **	\$0	\$0
10 Moveable Equipment	6%	\$748,572	\$0 *	\$748,572	\$0
11 Technology	3%	\$374,286	\$0 *	\$374,286	\$0
12 Advertising/Insurance/legal	ls	\$100,000	\$0	\$100,000	\$0
13 % for Art	ls	\$50,000	\$0	\$50,000	\$0
14 Bid Contingency 5%	5%	\$623,810	\$0 *	\$623,810	\$0
15 Construction Contingency 5%	5%	\$623,810	\$0 *	\$623,810	\$0
16 Design Contingency	10%	\$1,247,620	\$0 **	\$1,247,620	\$0
<b>Subtotal</b>		<b>\$3,768,098</b>	<b>\$0</b>	<b>\$3,768,098</b>	<b>\$0</b>
<b>C FEES AND SERVICES</b>					
17 Architect/Engineer	7.0%	\$873,334	\$0 *	\$873,334	\$0
18 Architect/Engineer Concept (Renovation)		\$0	\$0 *	\$0	\$0
19 A/E Reimbursable		\$100,000	\$0 **	\$100,000	\$0
20 Environmental Permitting		\$50,000	\$0	\$50,000	\$0
21 Life Cycle Cost Analysis		\$5,000	\$0	\$5,000	\$0
22 Commissioning	1%	\$85,800	\$0 **	\$85,800	\$0
23 Surveys/Soils/Testing		\$100,000	\$0	\$100,000	\$0
24 Owners Representative		\$50,000	\$0 *	\$50,000	\$0
25 Clerk of the Works		\$150,000	\$0 *	\$150,000	\$0
<b>Subtotal</b>		<b>\$1,414,134</b>	<b>\$0</b>	<b>\$1,414,134</b>	<b>\$0</b>
<b>D PROJECT TOTALS</b>		<b>\$17,658,432</b>	<b>\$0</b>	<b>\$17,658,432</b>	<b>\$0</b>
<b>E TOTAL PROJECT COST</b>	(Including All Available Project Funds)			<b>\$17,658,432</b>	



MAINE HISTORIC PRESERVATION COMMISSION  
55 CAPITOL STREET  
65 STATE HOUSE STATION  
AUGUSTA, MAINE  
04333

JOHN ELIAS BALDACCI  
GOVERNOR

EARLE G. SHETTLEWORTH, JR.  
DIRECTOR

24 February 2010

Hilary D. Bassett, Executive Director  
Greater Portland Landmarks  
93 High Street  
Portland, Maine 04101

re: Nathan Clifford School, Portland

Dear Ms. Bassett:

Thank you for contacting the Maine Historic Preservation Commission regarding whether the Nathan Clifford School in Portland, Maine is eligible for listing in the National Register of Historic Places.

I am pleased to say that in our judgement, based upon available information generated by both Greater Portland Landmarks and this office, this property is eligible for nomination to the National Register of Historic Places. The building meets the National Register integrity criteria, and achieves significance under Criterion A, for its role in the local educational system, and under Criterion C, for the artistic merit of its WPA murals and as a property that represents the work of a master architect, John Calvin Stevens.

All nominations, before being sent to Washington for final approval, must first be presented to our Commission for preliminary clearance at one of their quarterly meetings. In the meantime, the property will be included in the Maine Historic Resources Inventory which will provide the same protection as if it were already listed in the National Register.

Sincerely,

Christi A. Mitchell  
National Register Coordinator

**Criteria for Designation of a Historic Landmark under the City Historic Preservation Ordinance**

**City Code of Ordinance, Chapter 14, Land Use, Art. IX. Historic Preservation, § 14-601—14-750**

DIVISION 3. CATEGORIES AND CRITERIA FOR DESIGNATION

**Sec. 14-610. Minimum criteria for designation.**

(a) The historic preservation board shall limit its consideration to the following criteria in making a determination on a proposed nomination of an area, site, structure or object for designation by ordinance as a landmark or district:

1. Its value as a significant example of the cultural, historic, architectural, archeological or related aspect of the heritage of the City of Portland, State of Maine, New England region, or the United States;
2. Its location as a site of a significant historic or prehistoric event or activity which may have taken place within or which involved the use of any existing structure on the property;
3. Its identification with a person or persons who significantly contributed to the cultural, historic, architectural, archeological or related aspect of the development of the City of Portland, State of Maine, New England region, or the United States;
4. Its exemplification of a significant architectural type, style or design distinguished by innovation, rarity, uniqueness or overall quality of design, detail, materials or craftsmanship;
5. Its identification as the work of an architect, designer, engineer or builder whose individual work is significant in the history or development of the City of Portland, the State of Maine, the New England region, or the United States; or
6. Its representation of a significant cultural, historic, architectural, archeological or related theme expressed through distinctive areas, sites, structures or objects that may or may not be

contiguous.

(b) In the case of a nominated historic district, the historic preservation board shall also determine whether a substantial number of the properties, sites, structures or objects have a high degree of cultural, historic, architectural or archeological significance and integrity, many of which may qualify as landmarks, and which may also have within its boundaries other properties, sites, structures or objects which, while not of such cultural, historic, architectural or archeological significance to qualify as landmarks, nevertheless contribute to the overall visual characteristics of the significant properties, sites, structures or objects located within it.

(c) In the case of a nominated historic landscape district, the historic preservation board shall also consider its significance as a geologic, natural or man-made landscape feature associated with the development, heritage or culture of the City of Portland, State of Maine, New England region, or the United States.

(d) The planning board and council shall apply the criteria of subsections (a), (b) and (c) but shall also consider the effect of such designation on other aspects of the comprehensive plan of the city.

(Ord. No. 235-90, 2-26-90)

**Sec. 14-611. Integrity of landmarks and historic districts.**

Any area, structure or object that meets the criteria in section 14-610 must also have sufficient integrity of location, design, condition, materials and workmanship to make it worthy of preservation or restoration.

(Ord. No. 235-90, 2-26-90)

DIVISION 6. R-5 RESIDENTIAL ZONE\*

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**\*Editor's note**--Ord. No. 536-84, adopted May 7, 1984, repealed former Div. 6, §§ 14-116--14-119, and enacted in lieu thereof a new Div. 7, §§ 14-116--14-121. However, in order to avoid duplication of subsequent division numbers and in consultation with the city, the provisions have been retained as Div. 6. Sections 14-116--14-119 were formerly derived from Code 1968, § 602.5.A--D, and Ord. Nos. 207-72, 499-74, 193-82, 92-83, 422-83.  
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**Sec. 14-116. Purpose.**

The purpose of the R-5 residential zone is:

To provide appropriate areas of the city for medium-density residential development characterized by single-family and low-intensity multifamily dwellings on individual lots; to ensure the stability of established medium-density neighborhoods by controlling residential conversions; and to provide for planned residential unit development on substantially sized parcels. Such PRUD development shall respond to the physical qualities of a site and complement the scale, character and style of the surrounding neighborhood.

(Ord. No. 536-84, 5-7-84; Ord. No. 83-88, § 1, 7-19-88)

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**\*Editor's note**--Ord. No. 83-88, § 1, adopted July 19, 1988, amended § 14-116 to read as herein set out. See also the editor's note to Art. III of this chapter for additional provisions relative to Ord. No. 83-88.  
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**Sec. 14-117. Permitted uses.**

The following uses are permitted in the R-5 residential zone:

(a) *Residential:*

1. Single- and two-family dwellings; except that development of two (2) or more two-family dwellings on contiguous lots within any two-year period shall be subject to review as specified under the provisions of 14-117(a)2e if such lots were under single ownership at any time within the two-year period immediately prior to development of the first such lot. No building reviewed as a two-family dwelling in accordance with article V (site plan) of this chapter or not

reviewed under article V shall be altered or enlarged to include any additional dwelling unit within five (5) years from the date of issuance of the building permit. Any building reviewed as a two-family dwelling in accordance with article V (site plan) which is altered or enlarged to include any additional dwelling unit after this five-year period shall be reviewed as a level I site plan pursuant to article V of this chapter.

2. Multiplex development with three (3) or more horizontally or vertically attached dwelling units or a series of such attached dwelling units and the construction of at least one (1) building on a parcel of less than two (2) acres, provided that:
  - a. The land area requirement for a multiplex shall be six thousand (6,000) square feet of land area per dwelling unit; except that a multiplex with two hundred fifty (250) feet or more of street frontage needs only forty-five hundred (4,500) square feet of land area per dwelling unit;
  - b. No dwelling unit shall have less than six hundred (600) square feet of floor area, exclusive of common hallways and storage in basement and attic;
  - c. No open outside stairways or fire escapes above the ground floor shall be constructed;
  - d. No habitable space in a dwelling unit shall be below grade, except basements that are a part of and below aboveground units;
  - e. Such development shall be subject to article V (site plan) of this chapter for site plan review approval and shall conform to the R-5 Design Standards.
3. Planned residential unit development (PRUD) consisting of horizontally or vertically attached dwelling units, or a series of such dwelling units. No dimensional requirements contained in section 14-120 shall apply with respect to such

development, except for those requirements specifically denoted for PRUD. There shall be no open outside stairways or fire escapes above the ground floor. All land shall be owned and used in common and shall be governed and maintained as set forth in section 14-498(i)(3) of this chapter. Such development shall be subject to review and approval by the Planning Board with respect to the requirements of article V (site plan) and article IV (subdivisions) of this chapter, whether or not such development is a subdivision within the meaning of article IV of this chapter, as now enacted or as hereafter amended.

4. Handicapped family unit, as defined in section 14-47 (definitions) of this article, for handicapped persons plus staff.
5. Single-family, multiple-component manufactured housing, as defined in section 14-47 (definitions) of this article, except in a National Register Historic District.
6. Single-family, single-component manufactured housing, as defined in section 14-47 (definitions) of this article, on individual lots under separate and distinct ownership, except in a National Register Historic District, provided that each unit meets the performance standards listed below:
  - a. More than half of the roof area of each unit shall be a double pitched Class C rated shingled roof with a minimum pitch of 3/12.
  - b. Each unit shall be installed on a full foundation or a concrete frost wall in accordance with all applicable codes and regulations. Any hitch or tow bar shall be removed from the unit after it is placed on its foundation or frost wall. In the case of a frost wall, vermin proof skirting shall be installed on all sides of the unit. The skirting may consist of either (a) concrete or masonry block or (b) manufactured skirting. If concrete or masonry block

skirting is installed, either the exterior siding of the unit shall extend within one (1) foot of grade or decorative masonry siding shall be applied. If manufactured skirting material is installed, the color shall be identical to or compatible with the exterior siding of the unit.

- c. Each unit shall have exterior siding that is residential in appearance, including but not limited to natural materials such as wood clapboards or shakes, or exterior materials which simulate wood. Clapboards or simulated clapboards shall have less than eight (8) inches of exposure and sheet metal type siding shall not be permitted.
- d. Each unit shall have the long side of the unit parallel to the street line where the required street frontage is met.
- e. Each unit shall be provided with at least two (2) trees meeting the city's arboricultural specifications and which are clearly visible from the street line and are located so as to visually widen the narrow dimension or proportion of the unit.
- f. Each unit shall have all fuel oil supply systems constructed and installed within the foundation wall or underground in accordance with all applicable codes and regulations.
- g. No unit shall be horizontally or vertically attached to any other unit or other structure, provided however, that this provision shall not be deemed to prohibit building additions, such as porches, garages, room additions or solar greenhouses.

(b) *Other:*

- 1. Parks, and other active and passive noncommercial recreation spaces;
- 2. Accessory uses customarily incidental and

subordinate to the location, function, and operation of principal uses, subject to the provisions of section 14-404 (accessory use) of this article;

3. Home occupation, subject to the provisions of section 14-410 (home occupation) of this article;
4. Municipal uses, excluding those specifically set forth in section 14-118 of this division.
5. Special needs independent living units on lots of less than two (2) acres, provided that a building housing special needs independent living units shall not house other types of residential or other permitted uses. The owner of a special needs independent living unit building shall file in the Cumberland County Registry of Deeds a statement under oath that the building is a special needs independent living unit building and that any future change of use to a permitted residential use shall require a change in use review by the City of Portland and a decrease in the number of units in the building in accordance with the Portland City Code, chapter 14. The owner shall file proof of such recording with the building inspections division prior to the issuance of any certificates of occupancy for the new uses.
6. Wind energy systems, as defined and allowed in Article X, Alternative Energy.

(Ord. No. 536-84, 5-7-84; Ord. No. 265-84, § 1, 12-17-84; Ord. No. 98-86, § 1, 10-6-86; Ord. No. 83-88, §§ 2, 3, 7-19-88; Ord. No. 387-89, 4-3-89; Ord. No. 86A-89, § 5, 8-21-89; Ord. No. 95-89, § 1, 9-6-89; Ord. No. 279-90, § 1, 3-10-90; Ord. No. 33-91, § 6, 1-23-91; Ord. No. 33A-91, § 4, 4-17-91; Ord. No. 220-95, 4-3-95; Ord. No. 165-97, § 3, 12-1-97; Ord. No. 56-08/09, 9-3-08; Ord. No. 278-09/10, 7-19-10; Ord. No. 33-11/12, 1-18-12)

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**\*Editor's note--**Ord. No. 83-88, §§ 2, 3, adopted July 19, 1988, amended subsections 14-117(a) and (b)4 to read as herein set out. See also the editor's note to Art. III of this chapter for additional provisions relative to Ord. No. 83-88. Ord. No. 95-89, § 1, adopted Sept. 6, 1989, amended subsection (a)1 of § 14-117 to read as set out and, as amended, further ordained "that the prohibition upon unit additions contained in this ordinance shall not apply where a building permit has been issued. Additions proposed to such buildings shall require major site plan review and all other reviews required by this chapter."

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**Sec. 14-118. Conditional uses.**

The following uses shall be permitted only upon the issuance of a conditional use permit, subject to the provisions of section 14-474 (conditional uses) and any special provisions, standards or requirements specified below:

(a) *Residential:*

1. Reserved.
2. Sheltered care group homes, as defined in section 14-47 of this article, for up to twelve (12) individuals, plus staff, and serving a primary population which is not handicapped persons, parolees, persons involved in correctional prerelease programs, or current illegal drug users, provided that:
  - a. A sheltered care group home shall not be located within five hundred (500) feet of another, as measured along street lines to the respective property lines;
  - b. There shall be no open outside stairways or fire escapes above the ground floor;
  - c. The facility shall make provision for adequate on-site staffing and supervision of residents in accordance with applicable state licensing requirements. If a facility is not licensed by the state, there shall be a minimum of one (1) staff person for every ten (10) residents or fraction thereof.

The board of appeals may impose conditions upon a conditional use permit concerning the creation or operation of a sheltered care group home including but not limited to the following: site and building maintenance; lighting, fencing, and other appropriate security measures; screening and buffering of parking areas; compatibility of any additions or alterations with the existing residential structure; compatibility of new structures with the architectural character of the surrounding area; and limitation on the duration of the sheltered care group home permit.

3. Alteration of a structure existing and not in residential use as of January 1, 1984, to three (3) or more dwelling units, provided that:
  - a. No dwelling unit shall have less than six hundred (600) square feet of floor area, exclusive of common hallways and storage in basement and attic;
  - b. No open outside stairways or fire escapes above the ground floor shall be constructed or have been constructed in the immediately preceding five (5) years;
  - c. A lower level dwelling unit shall have a minimum of one-half of its floor-to-ceiling height above the average adjoining ground level;
  - d. Three thousand (3,000) square feet of land area per dwelling unit shall be required;
  - e. On-site parking shall be required as specified in division 20 (off-street parking) of this article, for the combined uses of the site;
  - f. The project shall be subject to article V (site plan) of this chapter for site plan review and approval and the following additional standards:
    1. Any addition or exterior alterations such as facade materials, building form, and roof pitch shall be designed to be compatible with the architectural style of the structure;
    2. The scale and surface area of parking, driveways, and paved areas shall be arranged and landscaped to be compatible in size and scale with neighboring properties in the area and to properly screen vehicles from adjacent properties and streets.

4. Conversions of existing two-family or multiplex structures into lodging houses, provided that a lodging house shall not be located within five hundred (500) feet of another as measured along street lines to the respective property lines.

5. Alteration of a single-family dwelling existing as of September 3, 2008 on a nonconforming lot to accommodate an accessory dwelling unit within and clearly subordinate the principal structure provided that:

- a. The accessory unit shall have a minimum floor area of four hundred (400) square feet that represents no more than thirty (30) percent of the gross floor area of the principal dwelling unit. Gross floor area shall exclude any floor area that has less than two-thirds of its floor-to-ceiling height above the average adjoining ground level and may include the attic if such space is habitable.
- b. The principal dwelling unit shall be located on a lot of no less than four thousand (4,000) square feet and no more than six thousand (6,000) square feet;
- c. Either the accessory or principal dwelling unit shall be occupied by the owner of the lot, except for bona fide absences of a temporary nature;
- d. Parking shall be provided as required by Division 20 of this article.
- e. There shall be no open, outside stairways or fire escapes above the ground floor; and
- f. The project shall be subject to Article V for site plan review and approval and the following additional standards:
  - i. Any additions or exterior alterations such as façade materials, building form, roof pitch, and exterior doors shall be designed to be compatible with

the architectural style of the building and preserve the single family appearance of the building; and

- ii. The scale and surface area of parking, driveways and paved areas shall be arranged and landscaped properly to screen vehicles from adjacent properties and streets.

(b) *Institutional*: Any of the following conditional uses provided that, notwithstanding section 14-474(a) (conditional uses) of this article, or any other provision of this Code, the Planning Board shall be substituted for the board of appeals as the reviewing authority:

1. Elementary, middle, and secondary school;
2. a. Long-term and extended care facilities;  
b. Intermediate care facility for thirteen (13) or more persons;
3. Places of assembly;
4. Reserved;
5. Hospital;
6. College, university, trade school.

Such uses shall be subject to the following conditions and standards in addition to the provisions of section 14-474:

- a. In the case of expansion of existing such uses onto land other than the lot on which the principal use is located, it shall be demonstrated that the proposed use cannot reasonably be accommodated on the existing site through more efficient utilization of land or buildings, and will not cause significant physical encroachment into established residential areas; and
- b. The proposed use will not cause significant

displacement or conversion of residential uses existing as of June 1, 1983, or thereafter; and

- c. In the case of a use or use expansion which constitutes a combination of the above-listed uses with capacity for concurrent operations, the applicable minimum lot sizes shall be cumulative; and
- d. Article V (site plan) sections 14-522 and 14-523 notwithstanding, in the case of places of assembly the proposed use shall be subject to the requirements of article V (site plan) of this chapter; and
- e. In the case of community halls:
  - i. The structure was in existence as of January 4, 2010;
  - ii. The structure was built for institutional or other non-residential uses;
  - iii. The structure is operated by, or operated subject to the control of, a not-for-profit entity in accordance with its not-for-profit purposes; and
  - iv. A parking management plan is submitted for review and approval by the planning board; and
- f. In the case of private club or fraternal organizations: any such establishment serving alcoholic beverages or in possession of a license for serving alcoholic beverages shall be located on a large lot, as specified in the minimum lot size provisions of this section.
- d. A college, university or trade school may build principal structures to a height of fifty-five (55) feet, not including the USM overlay zone, if the following standards can be met:

- (i) Lot size: 10 acres which may include adjacent land owned by the institution on both sides of a public street.
- (ii) Minimum setback between buildings on-site: 20 feet.
- (iii) Minimum setback from external property boundary: 30 feet, except that parking garages over 35 feet in height must be located 50 feet from external property boundaries when adjacent to an adjoining residential use.
- (iv) The area between the structure and adjoining residential uses must be adequately screened with appropriate landscaping or other features to buffer the building and effects thereof (i.e. noise, light, etc) from abutting properties.

(c) *Other:*

1. Off-street parking of passenger cars as provided in section 14-344 (board of appeals may authorize parking in certain residential zones) of this article;
2. Utility substations such as water and sewage pumping stations and standpipes, electric power substations, transformer stations, and telephone electronic equipment enclosures and other similar structures, provided that such uses are suitably screened and landscaped so as to ensure compatibility with the surrounding neighborhood;
3. Day care facilities or home babysitting services not permitted as a home occupation under section 14-410, and nursery schools and kindergartens subject to the following conditions:
  - a. The facility shall be located in a structure in which there is one (1) or more occupied residential units or in an existing accessory structure, unless the facility is

located in a principal structure that has not been used as a residence in whole or in part within the five (5) years immediately preceding the application for a day care or home babysitting use or in a nonresidential structure accessory to the principal nonresidential use.

- b. The maximum capacity shall be twelve (12) children for facilities located in residential or existing structures accessory thereto, unless the additional standards in subsection v. are met. There shall be no maximum limit on the number of children in a facility located in a principal structure that has not been used as a residence in whole or in part within the five (5) years immediately preceding the application for a day care use, home babysitting use, nursery school, or kindergarten, or in a nonresidential structure accessory thereto, provided that any such structure that serves more than twelve (12) children shall be subject to review under article V of this chapter.
- c. Outdoor play areas shall be screened and buffered from surrounding residences with landscaping and/or fencing to minimize visual and noise impacts.
- d. Solid waste shall be stored in covered containers. Such containers shall be screened on all four (4) sides.
- e. Day care facilities, nursery schools and kindergartens located either in structures that have been in residential use within the past five (5) years or in existing accessory structures and that serve between thirteen (13) and twenty-four (24) children shall meet the following additional standards:
  - i. The facility shall provide a minimum of seventy-five (75) square feet of outdoor play area per child;

- ii. The play area shall be located in the side and rear yards only and shall not be located in front yards;
- iii. Outside play areas shall be separated from abutting properties by a fence at least forty-eight (48) inches in height;
- iv. A ten-foot wide landscaped buffer shall be required outside of the fenced play area, and shall be established in accordance with the landscaping standards of the City's Technical Standards and Guidelines;
- v. The minimum lot size for a day care facility, home babysitting service, nursery school, or kindergarten located in a residential or existing accessory structure and serving more than twelve (12) children shall be twenty thousand (20,000) square feet;
- vi. *Off-street parking:* Off-street parking is required as provided in division 20 (off-street parking) of this article.
- vii. The maximum number of children in a day care facility, home babysitting service, nursery school or kindergarten located in a residential or existing accessory structure shall be twenty-four (24); and
- viii. Any additions or exterior alterations such as facade materials, building form, roof pitch, and exterior doors shall be designed to be compatible with the architectural style of the building and preserve the residential appearance of the building.

- 4. Temporary wind anemometer towers, as defined in Sec 14-47, are permitted provided the following standards are met in addition to Sec 14-430:

- a. Towers may be installed for the purpose of wind data collection for no more than two (2) years after the issuance of a Certificate of Occupancy for the tower. At the conclusion of the aforementioned two (2) years, the tower must be dismantled and removed from the site within sixty (60) days; and
- b. Towers shall be constructed according to plans and specifications stamped by a licensed professional engineer, which shall be provided to the Board of Appeals with the application; and
- c. Towers shall be set back from habitable buildings by a distance equal to 1.1 times the tower height; and
- d. The applicant shall provide a safety report prepared and stamped by a licensed professional engineer to the Board of Appeals with their application for conditional use, which demonstrates how the proposed temporary wind anemometer tower is safe in terms of strength, stability, security, grounding, icing impacts and maintenance; and
- e. The applicant shall provide evidence of commercial general liability insurance, such insurance to be satisfactory to Corporation Counsel and cover damage or injury resulting from construction, operation or dismantling of any part of the temporary wind anemometer tower; and
- f. Towers and associated guy wires shall be sited to minimize their prominence from and impacts on public ways (including pedestrian ways); and
- g. Towers shall be used for installing anemometers and similar devices at a

range of heights from the ground to measure wind characteristics (speed, direction, frequency) and related meteorological data, but shall not be used for any other purpose; and

- h. A performance guarantee shall be required for the cost of removal of the tower, guy wires and anchors. This requirement may be satisfied by surety bond, letter of credit, escrow account or by evidence, acceptable to the City, or the financial and technical ability and commitment of the applicant or its agents to remove the facility at the end of the use period.

5. Wind energy systems, as defined and allowed in Article X, Alternative Energy.

(Ord. No. 536-84, 6-7-84; Ord. No. 265-84, § 2, 12-17-84; Ord. No. 76-85, § 6, 7-1-85; Ord. No. 83-88, § 4, 7-19-88; Ord. No. 235-91, § 10, 2-4-91; Ord. No. 118-93, § 9, 10-18-93; Ord. No. 133-96, § 5, 11-18-96; Ord. No. 154-96, § 9, 12-16-96; Ord. No. 222-99, §5, 3-01-99; Ord. No. 94-07/08, 11-5-07; Ord. No. 56/08/09, 9-3-08; Ord. No. 29-09/10, 8-3-09 emergency passage; Ord. No. 127-09/10, 1-4-10 emergency passage; Ord. No. 240-09/10, 6-21-10; Ord. No. 9 10/11, 8-2-10; Ord. No. 149-10/11, 3-7-11; Ord. No. 33-11/12, 1-18-12)

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**\*Editor's note--**Ord. No. 83-88, § 4, adopted July 19, 1988, amended § 14-118 by deleting subsection (b)5. See also the editor's note to Art. III of this chapter for additional provisions relative to Ord. No. 83-88.

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**Sec. 14-119. Prohibited uses.**

Uses that are not expressly enumerated herein as either permitted uses or conditional uses are prohibited.

(Ord. No. 536-84, 5-7-84)

**Sec. 14-120. Dimensional requirements.**

(a) In addition to the provisions of division 25 (space and bulk regulations and exceptions) of this article, lots in the R-5 zone shall meet the following minimum requirements:

1. *Minimum lot size:*

- a. Residential: Six thousand (6,000) square feet except as provided for lots of record in section 14-433 (lots of record and accessory structure

setbacks for existing buildings) of this article. A lot in an unsewered residential district shall meet the provisions of the state Minimum Lot Size Law, 12 M.R.S.A. section 4807, or the applicable zoning lot size, whichever is larger.

- b. Reserved.
- c. Long-term, extended, or intermediate care facility: Two (2) acres.
- d. School: Thirty thousand (30,000) square feet.
- e. Places of assembly:

Large	43,560 sq. ft.
Medium	21,780 sq. ft.
Small	10,890 sq. ft.

- f. Municipal use: Six thousand (6,000) square feet.
- g. Hospital: Five (5) acres.
- h. College, university, trade school: Two (2) acres.
- i. Multiplex: Nine thousand (9,000) square feet.
- j. Planned residential unit development (PRUD): Two (2) acres gross area, as defined in section 14-47 (definitions) of this article, of contiguous land.
- k. All other uses: Six thousand (6,000) square feet.
- l. Lodging houses: Nine thousand (9,000) square feet.

Provided that for uses specified in section 14-120 (1)(c) through (i) above, no minimum lot area shall be required in the following cases:

- i. Uses existing as of June 1, 1983;
- ii. Expansion of uses onto land abutting the lot on which the principal use is located;
- iii. Expansion onto land other than the lot on

which the principal use is located to the extent that such expansion consists of the reuse of surface parking area or nonresidential structures existing and in nonresidential use as of June 1, 1983, provided that such reuse is contained within the lot of record of such structure or parking area as of June 1, 1983;

- iv. Expansion onto land other than the lot on which the principal use is located of no more than fifteen (15) percent of the total contiguous land area of the existing use, or one (1) acre, whichever is less, within any five-year period.

2. *Minimum lot area per dwelling unit:*

PRUD: Three thousand (3,000) square feet of net land area as defined in section 14-47 (definitions) of this article. As part of a site plan and subdivision application, the applicant shall provide a calculation of those factors deducted to determine net land area. In addition, such net area factors shall be delineated on a site plan.

*Special needs independent living units:* Four thousand eight hundred (4,800) square feet; except that special needs independent living units with two hundred fifty (250) feet or more of frontage shall require three thousand six hundred (3,600) square feet.

*Other uses:* Three thousand (3,000) square feet, except as provided for a multiplex.

3. *Minimum street frontage:* Fifty (50) feet.

4. *Minimum yard dimension:*

(Yard dimensions include setbacks of structures from property lines and setbacks of structures from one another. No structure shall occupy the minimum yard of another structure.)

a. *Front yard:*

Principal or accessory structures: Twenty (20)

feet.

A front yard need not exceed the average depth of front yards on either side of the lot. A lot of record existing as of June 5, 1957, and less than one hundred (100) feet deep need not be deeper than twenty (20) percent of the depth of the lot.

b. *Rear yard:*

i. Principal or attached accessory structures with ground coverage greater than one hundred (100) square feet: Twenty (20) feet.

ii. Accessory detached structures with ground coverage of one hundred and forty-four (144) square feet or less: Five (5) feet.

Setbacks from swimming pools shall be as provided in section 14-432 (swimming pools) of this article.

c. *Side yard:*

i. Principal or accessory structures with ground coverage greater than one hundred (100) square feet:

<i>Height of Structure</i>	<i>Required Side Yard</i>
1 story . . . . .	8 feet
1 1/2 stories . . . . .	8 feet
2 stories . . . . .	12 feet
2 1/2 stories . . . . .	14 feet

The width of one (1) side yard may be reduced one (1) foot for every foot that the other side yard is correspondingly increased, but no side yard shall be less than eight (8) feet in width. In the case of a lot of record existing as of June 5, 1957, and held under separate and distinct ownership from adjacent lots, the required side yard may be reduced in order to provide a buildable width of up to twenty-four (24) feet,

but in no case shall the resulting side yards be less than eight (8) feet.

ii. Accessory detached structures with ground coverage of one hundred and forty-four (144) square feet or less: Five (5) feet.

d. *Side yard on side street:*

Principal or accessory structures: Fifteen (15) feet.

5. *Maximum lot coverage:* Forty (40) percent of lot area.

6. *Minimum lot width:*

*Multiplex:* Ninety (90) feet.

*Other uses:* Sixty (60) feet.

7. *Maximum structure height:*

*Principal or attached accessory structure:* Thirty-five (35) feet.

*Accessory detached structure:* Eighteen (18) feet.

Principal and accessory attached structure (PRUD):  
Thirty-five (35) feet.

8. a. *Maximum number of units in a building (PRUD):* Twelve (12) units

b. *Maximum number of units in a multiplex building:*  
Six (6) units.

9. *Maximum length of building (PRUD):* One hundred forty (140) feet.

10. *Maximum length of accessory garage structure (PRUD):*  
Sixty (60) feet.

11. *Minimum building setback from external subdivision property lines (PRUD):*

a. *Building length of one hundred (100) feet or less:* Twenty-five (25) feet.

b. *Building length greater than one hundred (100) feet: Thirty-five (35) feet.*

12. *Minimum recreation open space area (PRUD):* Three hundred (300) square feet per dwelling unit of common area designated for recreation purposes. Such recreation areas shall be level graded, dry, accessible and properly drained. At a minimum, a contiguous area of six thousand (6,000) square feet, with a minimum dimension of fifty (50) feet, shall be provided and shall include one (1) or more of the uses set forth in section 14-526(d) 9. and the planned residential unit development standards in the City of Portland Design Manual, but shall at least be usable as a multipurpose game field. Such recreation areas shall be located at least twenty-five (25) feet from dwelling units.

13. No habitable space in a PRUD shall be below grade, except basements that are part of and below aboveground units.

14. a. *Minimum rooming unit area for lodging houses:* Two hundred (200) square feet of combined rooming unit and common area per rooming unit. Each individual rooming unit shall be a minimum of eighty (80) square feet.

b. *Minimum land area per lodging house rooming unit:* One thousand (1,000) square feet.

15. *Maximum floor area for places of assembly on a collector or arterial road:*

Large	Not limited
Medium	4,500 sq. ft.
Small	2,250 sq. ft.

16. *Maximum floor area for places of assembly not on a collector or arterial road:*

Large	4,500 sq. ft.
Medium	2,250 sq. ft.
Small	1,125 sq. ft.

(b) *Small residential lot development:* Single family homes may be built on small lots located in the R-5 and may use the dimensional requirements below if one of the following conditions is met:

The lot is:

Vacant as of (date of enactment); or used exclusively for parking; or contains structure(s) not used for residential purposes; or created from a single lot division of a developed lot and results in a lot meeting the dimensional requirements of § 14-120(b) with the remaining developed portion meeting the dimensional requirements of §14-120(a)(1)-(14) except as expressly provided in Section 14-120(b).

1. *Minimum lot size:* Five thousand (5,000) square feet.

2. *Maximum lot size:*

a. Lots that are vacant as of September 3, 2008, used exclusively for parking, or contain structure(s) not used for residential purposes: Six thousand (6,000) square feet.

b. Original developed lot prior to the single lot division that results in a lot meeting the dimensional requirements of §14-120(b) with the remaining developed portion meeting the dimensional requirements of §14-120(a)(1)-(14): Thirteen thousand (13,000) square feet.

3. *Yard dimensions:*

a. *Side yard:*

i. Principal or attached accessory structures with ground coverage greater than one hundred (100) square feet: Seven (7) feet.

The width of one (1) side yard may be reduced one (1) foot for every foot that the other side yard is correspondingly increased, but no side yard shall be less than four (4) feet in width.

ii. Side yard on side street: Ten (10) feet.

4. *Minimum lot width: Forty (40).*

5. *Minimum street frontage: Forty (40).*

6. *Maximum lot coverage: Fifty (50) percent.*

(Ord. No. 536-84, 5-7-84; Ord. No. 98-86, § 2, 10-6-86; Ord. No. 83-88, § 5, 7-19-88; Ord. No. 386-89, §§ 1, 2, 4-3-89; Ord. No. 235-91, § 11, 2-4-91; Ord. No. 33A-91, § 5, 4-17-91; Ord. No. 118-93, § 10, 10-18-93; Ord. No. 154-96, § 10, 12-16-96; Ord. No. 165-97, § 4, 12-1-97; Ord. No. 56-08/09, 9-3-08; Ord. No. 131-08/09, 12-15-08; Ord. No. 127-09/10, 1-4-10 emergency passage; Ord. No. 278-09/10, 7-19-10; Ord. No. 275-10/11, 10-18-10)

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**\*Editor's note--**Ord. No. 83-88, § 5, adopted July 19, 1988, amended § 14-120 to read as herein set out. See also the editor's note to Art. III of this chapter for additional provisions relative to Ord. No. 83-88.

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**Sec. 14-121. Other requirements.**

- (a) *Off-street parking:* Off-street parking is required as provided in division 20 (off-street parking) of this article.
- (b) *Shoreland and flood plain management regulations:* Any lot or portion of a lot located in a shoreland zone as identified on the city shoreland zoning map or in a flood hazard zone shall be subject to the requirements of division 26 and/or division 26.5.
- (c) *Storage of vehicles:* Only one (1) unregistered motor vehicle may be stored outside on the premises for a period not exceeding thirty (30) days.
- (d) *Small residential lot development* shall conform to the site plan standards of § 14-526.

(Ord. No. 536-84, 5-7-84; Ord. No. 15-92, § 9, 6-15-92; Ord. No. 56-08/09, 9-3-08)

**Memorandum**  
**Planning and Urban Development Department**  
**Planning Division**



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**To:** Nathan Clifford Re-Use Task Force  
**From:** Bill Needelman, Senior Planner  
**Date:** September 10, 2012  
**Re:** Current Zoning Notes:

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**Introduction:**

The following notes are provided by the Planning Staff for use by the Nathan Clifford Re-Use Task Force in their evaluation and recommendation for the future of the school building and grounds. These notes are not a zoning “determination” as any formal zoning opinion will be based on a specific application with a defined development program. The Task Force can use these notes as an indication of existing land use rule limiting use of the property. Readers of these rules should also note that additional land use regulations pertaining to *subdivision*, should residential units or division of property be considered, and *site plan*, for development features lying outside of the existing building footprint, will also apply to specific development proposals that may come forward following the Task Force’s work.

**Current Zoning:**

The Nathan Clifford School Property is located within the R-5, Residential Zone. The dominant allowed uses in the R-5 are various single family and multi-family dwellings. Schools are allowed in many residential zones as *conditional uses*. Conditional use is a provision where specified categories of use are allowed subject to additional standards and additional levels of review – either by the Zoning Board of Appeals or the Planning Board.

Below find a summarized list of the permitted and conditional uses allowed in the R-5 zone. Readers will note that certain uses are additionally subject to use-specific dimensional or performance requirements.

The memo concludes with a table showing R-5 dimensional requirements (such as lot size) and parking requirements.

The full text of the R-5 zone is provided in the Briefing Book.

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**Summarized R-5 Permitted and Conditional Uses:  
Refer to full text for formal Zoning Interpretation**

**Sec. 14-117. Permitted uses.**

(a) *Residential:*

1. Single- and two-family dwellings;
2. Multiplex development (New Development on at least two acres)

The land area requirement: 6,000 square feet/per dwelling unit; except that a multiplex with 250 feet or more of street frontage needs only 4,500 square feet per dwelling unit;

3. Planned residential unit development (*PRUD, such as a condominium project*)
4. Handicapped family unit
5. Single-family, multiple-component manufactured housing
6. Single-family, single-component manufactured housing

(b) *Other:*

1. Parks, and other recreation spaces;
2. Accessory uses
3. Home occupation

4. Municipal uses
5. Special needs independent living units on lots of less than two (2) acres,
6. Wind energy systems (*limited*)

**Sec. 14-118. Conditional uses.**

(a) *Residential:*

1. Reserved...
2. Sheltered care group homes, for up to twelve (12) individuals

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***Residential Use of the Existing Nathan Clifford School building would use the following provision:***

3. Alteration of a structure existing to three (3) or more dwelling units, provided that:
  - a. No dwelling unit shall have less than six hundred (600) square feet of floor area,
  - b. No open outside stairways or fire escapes;
  - c. A lower level dwelling unit shall have a minimum of one-half of its floor-to-ceiling height above the average adjoining ground level;
  - d. Three thousand (3,000) square feet of land area per dwelling unit shall be required;
  - e. On-site parking required (per City ordin.);
  - f. The project shall be subject to article V (site plan) and the following additional standards:
    1. Any addition or exterior alterations such as facade materials, building form, and roof pitch shall be designed to be compatible with the architectural style of the structure;
    2. The scale and surface area of parking, driveways, and paved areas shall be arranged and landscaped to be compatible in size and scale with neighboring

properties in the area and to properly screen vehicles from adjacent properties and streets.

\*\*\*\*\*

- 4. Conversions of existing two-family or multiplex structures into lodging houses,
- 5. Accessory dwelling units

(b) *Institutional:*

\*\*\*\*\*

***The former school use of Nathan Clifford School operated under the following provision:***

- 1. Elementary, middle, and secondary school;

\*\*\*\*\*

- 2.
  - a. Long-term and extended care facilities;
  - b. Intermediate care facility for thirteen (13) or more persons;
- 3. Places of assembly (***place of worship, community hall....***);
- 5. Hospital;
- 6. College, university, trade school.

Subject to the following:

- a. Demonstration that the proposed use cannot reasonably be accommodated on the existing site ...., and will not cause significant encroachment into established residential areas; and
- b. The proposed use will not cause significant displacement or conversion of residential uses...; and
- c. In the case of a ... combination of the above-listed uses ..for concurrent operations, the applicable minimum lot sizes shall be cumulative; and
- d. Places of assembly ...subject to site plan...; and
- e. In the case of community halls:

- i. The structure was in existence as of January 4, 2010;
  - ii. The structure was built for non-residential uses;
  - iii. ....Operated by and for not-for-profit entity..; and
  - iv. A parking management plan required; and
- f. In the case of private club or fraternal organizations: ... serving alcoholic beverages shall be located on a large lot.
- d. A college, university or trade school may build principal structures to a height of fifty-five (55) feet, not including the USM overlay zone, if the following standards can be met:
- (i) Lot size: 10 acres which may include adjacent land owned by the institution on both sides of a public street.
  - (ii) Minimum setback between buildings on-site: 20 feet.
  - (iii) Minimum setback from external property boundary: 30 feet, (parking garages over 35 feet in height - 50 feet set back from residential use.)
  - (iv) ...must be adequately screened ...to buffer ...abutting properties.
- (c) *Other:*
- 1. Off-street parking - *subject to ZBA review;*
  - 2. Utility substations;
  - 3. Day care facilities up to 12 or 24 - *subject to differing standards;*
  - 4. Temporary wind anemometer towers,
  - 5. Wind energy systems,

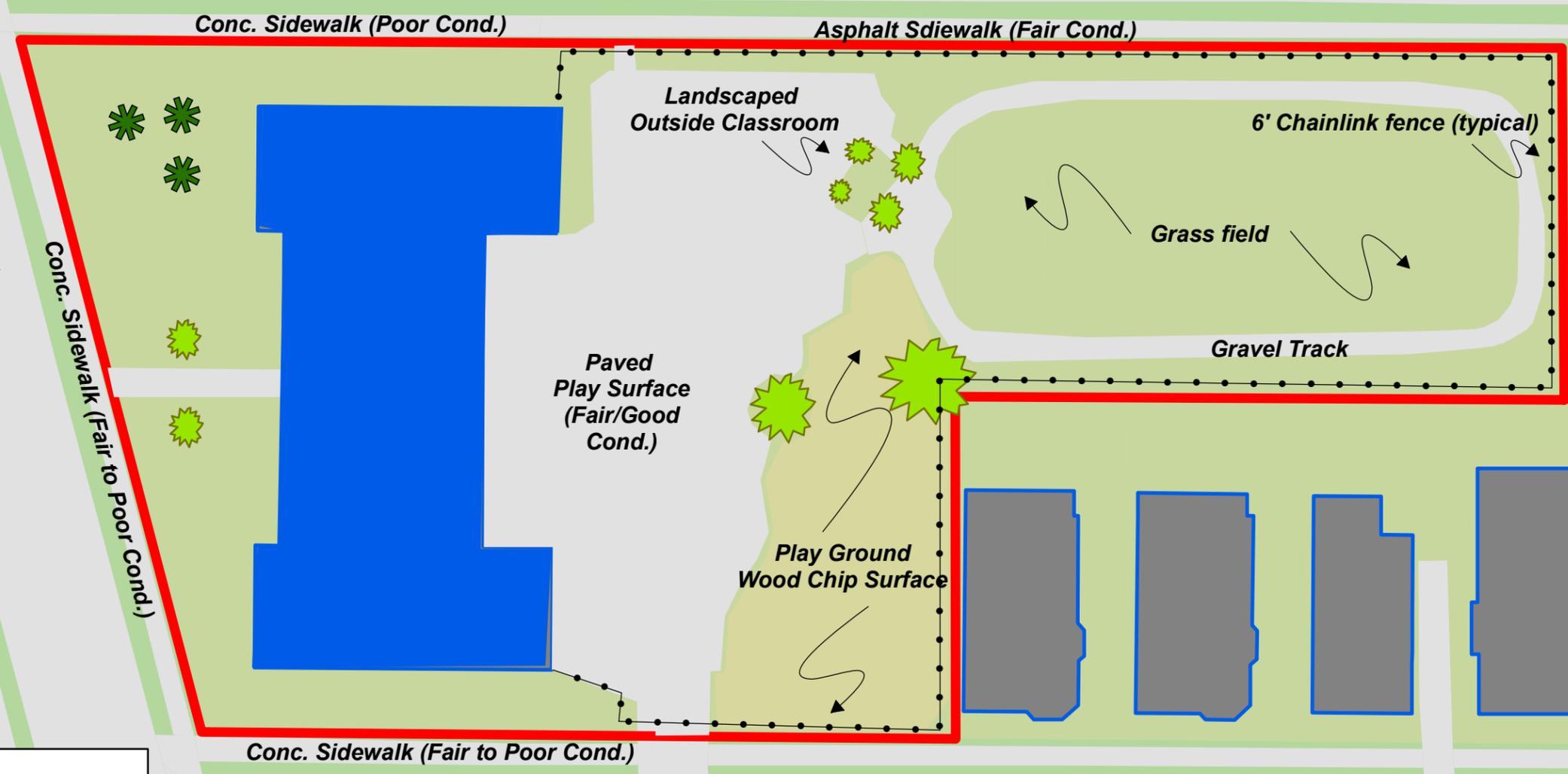
**R-5 Residential Zone Summary  
Dimensional and Parking Requirements  
Applied to Nathan Clifford School**

<b>Zoning Requirements</b>	<b>Current R-5 Zoning Standard</b>	<b>Nathan Clifford Current Condition</b>
Lot Size	30,000 sq ft (for school)	67,200 sq ft
	Other sizes depending on use: 6000 sq ft min	
Lot Coverage(Building Footprint)	40% of lot maximum	11,500 sq ft (+/-17%)
Lot area per dwelling unit	3000 sq ft per unit for alteration of an existing structure to residential use	67,200 sq ft/3000 sq ft= 22 units maximum
	Other residential development types have different requirements	
Building Height	35 feet	Unknown: Approximated at 50+ feet
Minimum Street Frontage	50 feet	
Minimum Yard Dimensions	Front: 20 feet	19-62 feet +/-
	Rear: 20 feet	117feet + (more at track)
	Side: 8-15 feet	18 ft +/- (Deane), 19 ft +/- (Payson)
Minimum Lot Width	60 - 90 feet	100-200 feet (Falmouth as front)
Parking	1 space per unit for residential in existing building.	+/- 14,000 sq ft of paved play area suitable for parking (+/-43 cars at 320 sq ft per space)
	Use specific for other uses	

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**Falmouth Street**

**Deane Street**



*Conc. Sidewalk (Poor Cond.)*

*Asphalt Sidewalk (Fair Cond.)*

*Conc. Sidewalk (Fair to Poor Cond.)*

*Landscaped Outside Classroom*

*6' Chainlink fence (typical)*

*Grass field*

*Gravel Track*

*Paved Play Surface (Fair/Good Cond.)*

*Play Ground Wood Chip Surface*

*Conc. Sidewalk (Fair to Poor Cond.)*

**Payson Street**

<b>Impervious Surface:</b>	
Building Footprint:	+/- 11,500 sf
Paved Play Surface:	+/- 14,300 sf
Gravel Track:	+/- 3,600 sf
Front Walk:	+/- 400 sf
<b>Total:</b>	<b>+/-29,800 sf</b>
<b>Total Site Area</b>	<b>+/-67,200 sf</b>
<b>Percentage Impervious</b>	<b>+/- 44%</b>

**Nathan Clifford School Re-Use**

Site Features

80 40 0 80 Feet



1" = 40' when printed at 11"x17"

**DRAFT**

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Deane Street

**Nathan Clifford  
School  
Site**

Granite Street

Falmouth Street

Payson Street

# Nathan Clifford School Re-Use

School Site and Immediate Neighborhood Context

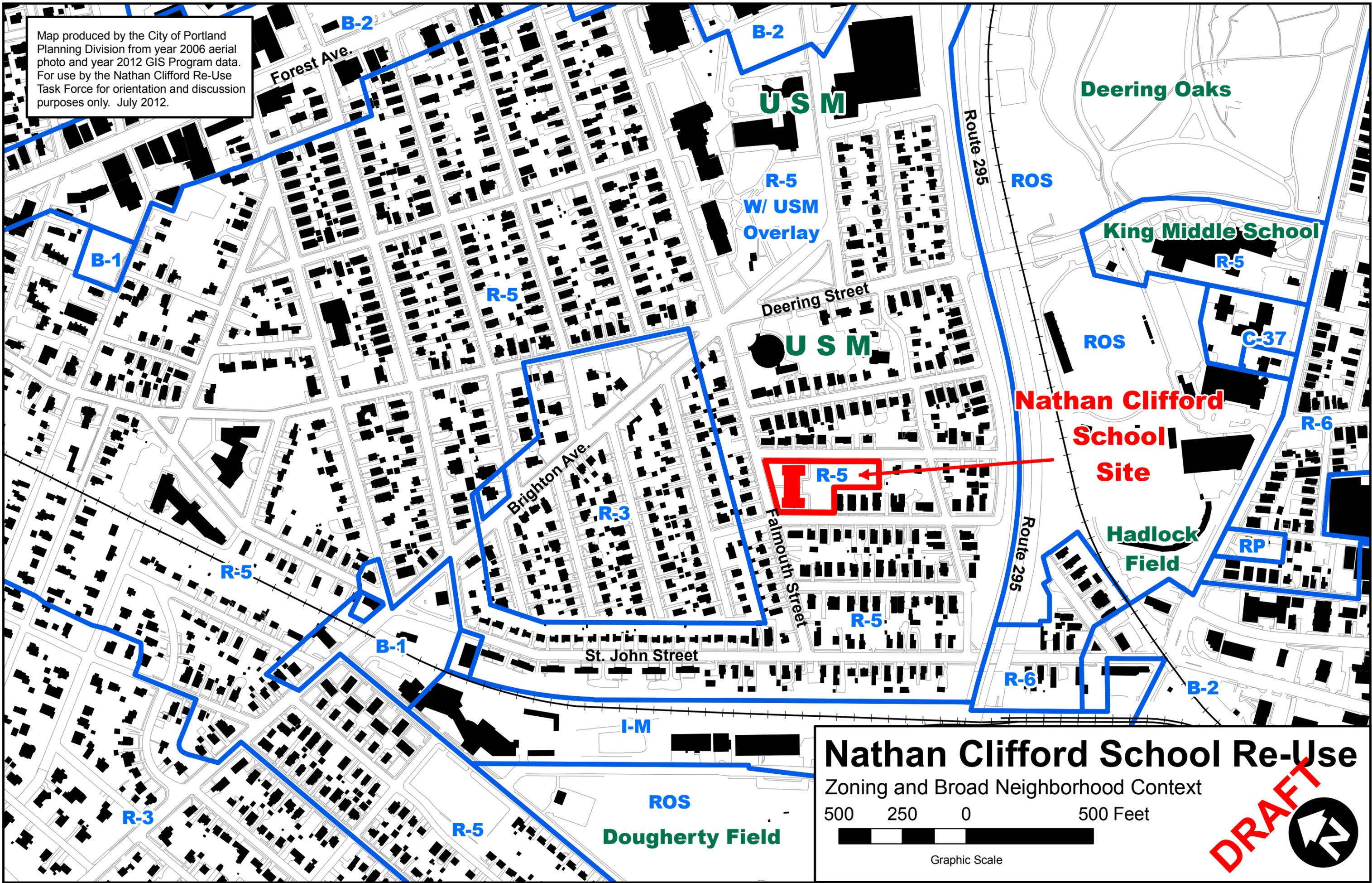
100 50 0 100 Feet



1" = 50' when printed at 11"x17"



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# Nathan Clifford School Re-Use

Zoning and Broad Neighborhood Context

500 250 0 500 Feet



Graphic Scale

**DRAFT**



## Neighborhood Context, Falmouth Street



## Neighborhood Context, Payson Street



## Neighborhood Context, Falmouth at Deane



## Sidewalk Condition



Falmouth St



Payson St



Dean St, Asphalt



Dean St, Concrete



Front Entry Walk

## Site Features



Outside Classroom



Field and Track



Play Areas

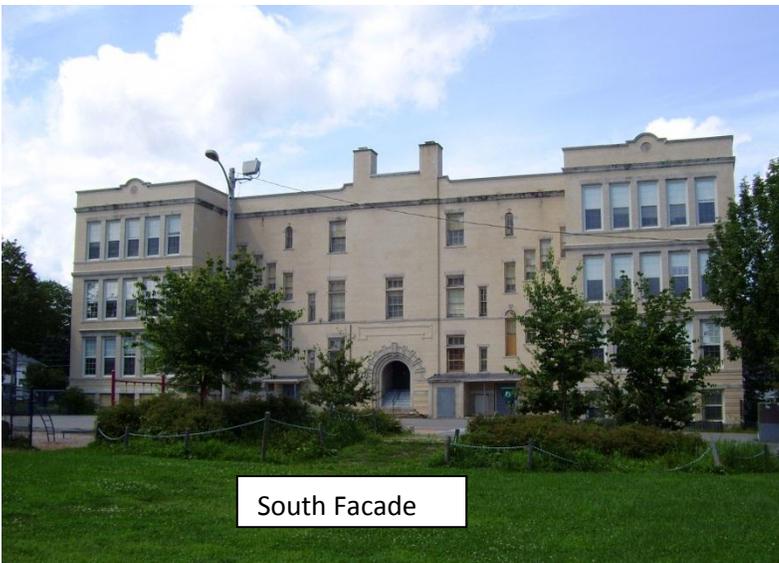
# Building Facades and Details



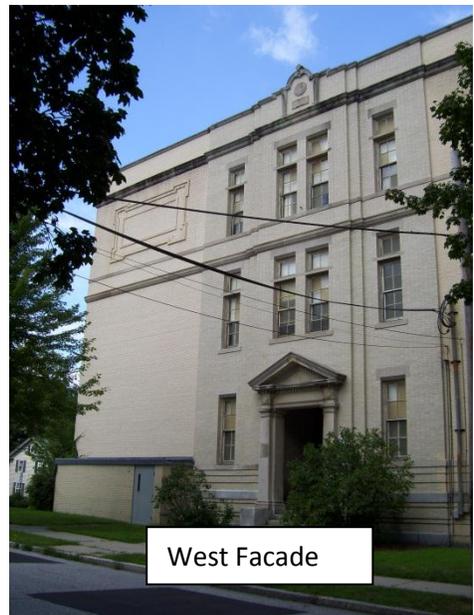
North Facade



East Facade



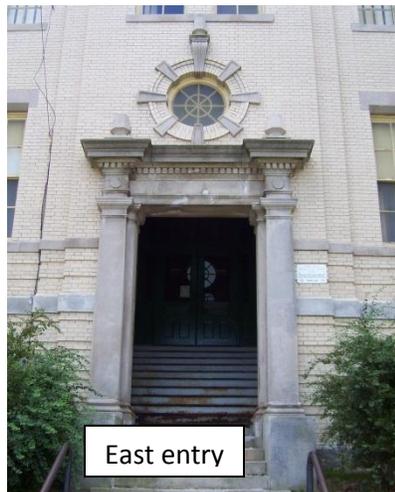
South Facade



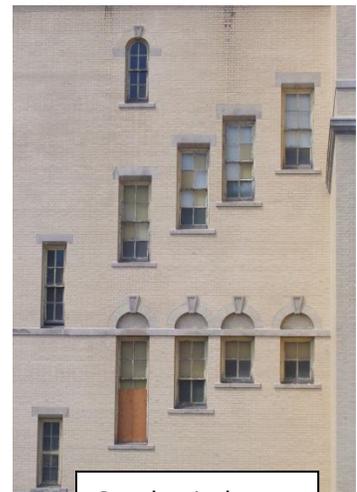
West Facade



North parapet medallion



East entry



South windows