

## 1. Land Bank Commission

### Documents:

LBC AGENDA 04122018.PDF  
LBC MINUTES 02082018.PDF  
PARK COMMISSION AND LAND BANK REPORT 2018-04.PDF  
MEMO\_LBCOMMISSION 4.12.PDF  
CONGRESS SQUARE\_COMBINED PROGRESS\_03-13-18.PDF  
A. VISION AND PROGRAM.PDF  
B. LAYOUT PLAN.PDF  
C. PLANTING PLAN.PDF  
D. DD PERSPECTIVE.PDF  
E. DD DETAILS.PDF  
F. TREE DIAGRAM.PDF  
G. PLANTING PLAN CONCEPT.PDF

### 1.1. Land Bank Annual Report

#### Documents:

DRAFT PORTLAND LAND BANK REPORT 2017 (4-4-18).PDF



**Commission Members:** Tom Jewell, Patrizia Bailey, Simon Rucker, Meri Lowry, William Mann, Colleen Tucker, Roger Berle, Steve Morgenstein, and Councilor Justin Costa.

### Land Bank Commission Agenda

April 12, 2018

5:00 PM

Portland, Maine City Hall

389 Congress Street, Room 24

- I. Citizen Comment Period
- II. Agenda Items
  - i. Acceptance of Meeting Minutes: February 8, 2018
  - ii. New Business (50 min.)
    - a. Congress Square Park Redesign – Caitlin Cameron  
Review and possible vote to recommend the removal of trees in Congress Square Park for the redesign project.  
*Public comment will be taken on this action item.*
    - b. Stormwater Preserve/Camelot Farms – Tuck O'Brien
  - iii. Old Business (30 min.)
    - a. Annual Land Bank Commission Report - Review and vote to approve the 2017 Annual Report to bring to City Council.  
*Public comment will be taken on this action item.*
    - b. Update on Redlon Woods/TAPC Parcels  
The Commission may go into executive session pursuant to 1 M.R.S. 405(6)(C) and (E) to discuss real estate negotiations and the City's legal rights and duties.
    - c. Oat Nuts Park Parcel Update  
The Commission may go into executive session pursuant to 1 M.R.S. 405(6)(C) and (E) to discuss real estate negotiations and the City's legal rights and duties.
    - d. Forest Ave. Parcel abutting Riverton Elementary School.  
The Commission may go into executive session pursuant to 1 M.R.S. 405(6)(C) to discuss real estate negotiations and the City's legal rights and duties.
  - iv. Communications/Updates (10 min.)
    - a. Parks Commission Report - Meri
    - b. Monthly Parks Report - Ethan

*The Land Bank Commission is responsible for identifying and protecting open space resources within the City of Portland. The commission seeks to preserve a balance between development and conservation of open space important for wildlife, ecological, environmental, scenic or outdoor recreational values.*



**In attendance:** Commission Members: Tom Jewell, Patrizia Bailey, Meri Lowry, Colleen Tucker, Roger Berle, and Steve Morgenstein. Portland Trails Representative Kara Wooldrik. City Staff: Doug Roncarati, Ethan Hipple, and Alli Carroll.

### Land Bank Commission Minutes

February 8, 2018

5:00 PM

Portland, Maine City Hall  
389 Congress Street, Room 24

**Tom called the meeting to begin at 5:10 PM.**

**I. Citizen Comment Period**

There are no citizens present to make a comment at this time.

**II. Agenda Items**

**i. Acceptance of Meeting Minutes: January 11, 2018**

Colleen moved to accept the January 11, 2018 meeting minutes. Roger seconded. Pat abstains. Passed with four in favor.

**ii. New Business**

**a. Camelot Farm Development Status Update**

Pat explained that the developers will soon have the proper permits. They will start digging in Spring and have a forty-five-month timeline to build. Trying to make development as compact as possible. They are still open to continue the discussion to work with Portland Trails and Land Bank about the twenty-four acres of open space. Kara and Doug explained the land on a map presented over the projector.

**iii. Old Business**

Roger moved to go into executive session to discuss Redlon Woods/TAPC parcels, Oat Nuts Park parcel, and Forest Ave. parcel abutting Riverton Elementary School. Pat seconded. Passed unanimously.

**a. Update on Redlon Woods/TAPC Parcels**

**Executive session pursuant to 1 M.R.S. 405(6)(C) and (E) to discuss real estate negotiations and the City's legal rights and duties.**

**b. Oat Nuts Park Parcel Update**

**Executive session pursuant to 1 M.R.S. 405(6)(C) and (E) to discuss real estate negotiations and the City's legal rights and duties.**

**c. Forest Ave. Parcel abutting Riverton Elementary School.**

**Executive session pursuant to 1 M.R.S. 405(6)(C) to discuss real estate negotiations and the City's legal rights and duties.**

Tom moved to come out of executive session. Colleen seconded. Passed unanimously.

**Meri entered the meeting at 5:30 PM.**

**d. Paper Street Subcommittee**

Land Bank Commissions part in this topic is done as of right now. This topic will stay on the agenda for future updates from City staff on its progress.

**e. PATHS update**

Will be changing this update title to “Improvements to Land Bank Properties”. There will be continued efforts to remove invasive plants from the meadow area at PATHS. Riverton Trolley Park and Evergreen Woods are priorities for conservation groups that could help make improvements.

**f. Verizon Pines (Davis Farm Road) Update**

Also known as Consolidated Communications. It is still on Roger’s hands. Ethan said that this area is part of Jeff Tarling’s tree tour if anyone wanted to join in the Walk in the Park Series.

**g. TAPC List Update**

Pat confirmed that the Land Bank Commission is waiting for a new list from staff. Doug and Ethan agreed and stated that they haven’t seen anything yet.

**h. Annual Land Bank Commission Report**

Simon was not able to attend but a draft of the annual report was included in the packet Alli provided for Commissioners. Pat suggested that accomplishments should include that they added property to the Land Bank. Tom suggested the PATHs project, pictures of it, and pictures of Redlon Woods. Commissioners agreed to look over this draft and that they will vote to accept the annual report next month.

**iv. Communications/Updates**

**a. Monthly Parks Report – Ethan**

Ethan explained that the Parks Conservancy has a board now. The Parks Commission Chair and himself have voting seats. Currently, they are working on an MOU and looking for an Executive Director.

Meri briefly updated the Land Bank Commission on the Parks Commission’s last meeting. They spoke of the new Parks Conservancy and is moving forward with subcommittee projects for the year.

Steve moved to adjourn the meeting and Colleen seconded. Passed unanimously.



Sally L. DeLuca  
Director

Department of Parks, Recreation & Facilities

Ethan Hipple  
Deputy Director

Department of Parks, Recreation & Facilities

### Memorandum

**TO:** Parks Commission and Land Bank Commission

**FROM:** Ethan Hipple, Deputy Director, Parks, Recreation and Facilities Department

**SUBJECT:** Parks Division Update

**DATE:** April 2018

#### **Budget Season**

Department budget has been submitted to City Manager and Finance Director for review.

#### **Congress Square Park**

Worked with Congress Square Park design team on water play feature, lighting, park access and other items. Fundraising campaign for project to be kicked off in 2018.

#### **Pianos in the Park**

Created working group of Department of Parks, Recreation and Facilities, local businesses, Portland Downtown and Friends of Congress Square Park to implement Pianos in the Park program. Donated pianos will be refurbished, tuned and brought to public downtown squares. Local businesses will "adopt" the pianos and move them in and out each day so that the public can play them during business hours.

#### **Fort Gorges Public Events**

Convened Fort Gorges site visit on Bay Mist Ferry. Purpose of trip was to evaluate facility for potential special event permitting and ongoing draft MOU with Friends of Fort Gorges. Trip involved staff from Fire, Police, PRF, Inspections, Legal, Bay Ferries Operations. Dry run to test docking of boat, passenger access, Fire Boat tie up, safety and access issues.

#### **Parks Conservancy**

Parks Conservancy Governance Committee working to finalize MOU with City, Executive Director Position Description, and Board By-Laws. Next order of business is to hire an Executive Director with significant fundraising experience.

#### **Community Service Projects**

Met with full-time Park Ranger about taking on coordination of community service projects. Moving forward, Park Ranger will serve as point of contact for groups seeking to perform community service projects in Portland Parks.

#### **Development of Parks Operations Space at 212 Canco Rd**

Review of Parks Division space in 212 Canco warehouse: met with Project Manager concerning



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Director

Department of Parks, Recreation & Facilities

Ethan Hipple  
Deputy Director

Department of Parks, Recreation & Facilities

construction schedule and office and storage moving. Renovation project will result in improved office space, storage, work space for Parks, Forestry and Horticulture crews at 212 Canco Rd.

### **Opportunity Crew**

Met with Health and Human Services concerning implementation of 2018 Opportunity Crew. While new 2018 CDBG grant was not approved, funds remain from existing CDBG grant to start crew in late April 2018. Staff have also applied for two grants that would continue to support this program. Currently seeking alternative funding sources to continue this program, including **donations from the public which can be made by texting the word "CREW" to phone number 91999.**

### **Pedestrian Hiking Bridge**

Met with local landowner concerning bridge donation to city. 70 foot bridge, could potentially be used to cross Stroudwater River and connect two existing trail systems. Working with Planning and Portland Trails to determine feasibility and logistics.

### **Tree Planting**

Planning to plant over 150 trees citywide as part of annual tree planting season. Trees planned for City Hall, Deering Oaks Playground, residential streets and many other locations.

### **Baxter Trail**

Baxter Trail meeting: finalized route and sign placements, working on creating content for each sign. Trail would be 3.25 miles long, starting at Back Cove, ending at Baxter Pines. Map here: <https://drive.google.com/open?id=1fdtEV9F5IO71zo9mAxT1UQ4MPk0&usp=sharing>

### **Stormwater Compliance**

Coordinated Stormwater Compliance Training for Parks Training

### **Friends of Congress Square Park**

Finalized new 3 year MOU with Friends of Congress Square Park to provide programming and events.

### **Park Projects Update**

Staff are working on the following funded CIP/Park Improvement projects:

- Cousins Memorial Reconstruction: bids due in April.
- Deering Oaks Playground Improvements: Zip line and net climber coming Spring 2018.
- Futsal Court, Fox Field: Funded by CDBG, planning for Spring construction
- Hall School Playground: Design complete, staff will be managing construction
- Island Playground Improvements: funding secured, bid awarded. Construction Spring 2018.
- Lincoln Park Fence Restoration: funding secure, design and specs 90%, approved by Historic Preservation Board. Project will be combined with Congress St sidewalk project to be completed



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Deputy Director

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under one contractor. Will go out to bid April 2018.

- Lyman Moore Athletic Facility Drainage and Reconstruction: funding and design complete, bid awarded, summer install.
- Park Signs: funding secured, spring install.
- Payson Playground improvements, summer install.
- Payson Softball Title IX restroom and locker room improvements: funding secured, spring installation

### **“A Walk In the Park” Series**

Planned spring and summer series of walks and talks in Portland Parks. Highlights include Tree Bus Tour, Park History Bike Slow Ride, Peaks Island Bike Slow Ride, Edible Plants Walk, and more.

- More info at: <http://www.portlandmaine.gov/1990/A-Walk-In-The-Park-Tours-and-Talks>

# Memorandum

## Planning and Urban Development Department

### Planning Division

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**To:** Members of the Land Bank Commission

**From:** Caitlin Cameron, Urban Designer, Dept. of Planning & Urban Development

**Date:** April 12, 2018

**Re:** Congress Square Redesign Progress + Land Bank Ordinance Approval

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#### 1. Redesign Progress + Feedback

The Congress Square Redesign project is in the Design Development (DD) phase. The project partners – The City of Portland, Friends of Congress Square Park, and the Public Art Committee – have continued to work with the consultants from WRT, Sebago Technics, Patrick Cullina Horticultural Design + Consulting, Tillett Lighting Design Associates, and Sze Studio on the landscape, traffic, lighting, water feature, and public artwork components of the project. The overall concept remains the same as presented in 2017 as part of the Schematic Design phase with continued refinement of circulation, planter placement and details, material selection, water feature, lighting scheme, grading and drainage, and planting selection. The project has reached 50% in the DD phase and at this point City staff seek feedback from the Land Bank Commission on the conformity with the vision and program goals (attached), especially on those design elements mentioned above.

The project partners will also seek feedback from the Parks Commission, the general public, neighboring stakeholders and abutters, and other City agencies.

The new design and public art will include approvals from the following entities:

- Land Bank Commission – Land Bank Ordinance
- City Council – Land Bank Ordinance
- Historic Preservation Board – Certificate of Appropriateness for landscape and artwork
- Planning Board – Site Plan
- MDOT – PDR and changes to the roadway (High Street is a State road)

#### 2. Approval of Tree Removal + Design Concept

Per City of Portland Code of Ordinances Ch. 2 Administration Sec. 2-43 Establishment of Land Bank (b) Maintenance of land. “Except upon approval, in accordance with section 2-43(c), of the commission, the City Council, . . . the commission or City government shall not allow:

**3. Removal or destruction of trees, shrubs or other vegetation**, except where necessary for management purposes and to enhance natural systems or open-space uses;”

The concept for the Congress Square Redesign includes the removal of all the existing vegetation and trees so that the site may be re-graded and redesigned to meet the project goals

of accessibility, cohesive identity, and usability for passive and active programming. Though removing existing trees is not ideal, there are several reasons why staff feel this is an appropriate request:

- The trees will be replaced at least in equal number, if not more, and placed in more functional ways (shade, character, viewsheds) and with more appropriate species – see diagram.
- Many of the existing trees are problematic species that are not well-suited for park use (such as the Lindens which drop a residue) – see City Arborist memo.
- The City Arborist further elaborates on the condition of the existing trees below and supports the proposal to remove and replace those trees.

**Congress Square Park Tree Condition Report** – from Jeff Tarling, City Arborist

*The existing tree design concept dates back to the original Sasaki design for Portland Downtown 'Mainway' project of the 1970's. Species makeup include Little-leaf Linden, Honeylocust and Callery Pear.*

*Of these tree types we are currently only using Honeylocust due to problematic characteristics of both Callery Pear and Little-leaf Linden, this includes invasive plant listing for the Pear and 'Sootymold' related damage on the Linden trees.*

*The original Mainway project for Portland's Downtown consisted of three species - Little-leaf (European) Linden planted throughout the downtown as the primary species along streets and in parks, London Planetrees (the original species of choice by the designers but were only selected for Spring Street between Union and High Streets due to suspected lack of cold hardiness issues.*

*Congress Square Park trees mentioned have been replaced over the years following the original design intent, we have not replanted any of the Pear or Linden varieties of recent knowing that a park redesign was pending.*

*Current Tree Condition - Portland Forestry crews recently conducted routine tree pruning and removal work in the park as part of ongoing tree maintenance. Two trees were removed, a declining Pear and Linden located on the Congress Street and High Street right of way and not in the park.*

*With the exception of the Honeylocust trees located near the stage and along the building edge the rest of the trees are mostly Little-leaf Linden which we are phasing out in all city locations. The health condition of the remaining trees are rated in the 'fair to good' category range.*

*The average life expectancy of urban trees in situations like Congress Square park would be 7 - 15 years for street trees in sidewalk cutouts or tree pits and 15-25 years for trees planted in larger tree planters with adequate root zone. Knowing the date of the design, the age of trees within the park and surrounding streetscape I would fully support removing the existing trees and replacing with a more sustainable planting.*

Therefore, City staff are seeking approval from the Land Bank Commission, and ultimately the City Council, for the removal of the existing trees and landscaping in the park in order to execute the redesign concept as presented in April, 2018.

**3. Attachments**

- a. Congress Square Redesign Vision + Program
- b. 50% DD Layout Plan
- c. 50% DD Planting Plan
- d. 50% DD Perspective
- e. 50% DD Details
- f. Diagram of Existing vs. Proposed Tree Concept
- g. Planting Plan Concept

**CONGRESS SQUARE**  
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CITY OF PORTLAND, MAINE

LANDSCAPE ARCHITECT



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KEY PLAN



ISSUE

REV #	DATE	DESCRIPTION
1	03/12/18	50% DESIGN DEVELOPMENT

SEALS

**50% DESIGN  
DEVELOPMENT - NOT  
FOR CONSTRUCTION**

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JOB #	DRAWN BY
DATE	CHECKED BY
SCALE	AS NOTED

DRAWING TITLE  
**COVER SHEET**

DRAWING #  
**L-001**

# CONGRESS SQUARE REDESIGN

THE CITY OF PORTLAND, MAINE  
**50% DESIGN DEVELOPMENT**  
NOT FOR CONSTRUCTION



VICINITY MAP

**PROJECT GENERAL NOTES**

- CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- IT SHALL BE UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- ALL UTILITIES ARE TO BE RETAINED UNLESS MARKED OTHERWISE. APPURTENANCES ARE TO BE ADJUSTED TO FINISHED GRADE.
- PRIOR TO START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL STAKE OUT ALL CONSTRUCTION AND VERIFY OFFSETS, SETBACKS, EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL) AND DIMENSIONS.
- THE CONTRACTOR SHALL USE THE DIMENSIONS SHOWN. DO NOT SCALE DRAWINGS.
- DEMARCATÉ THE LIMIT OF WORK AREA ON SITE WITH A CONSTRUCTION FENCE PRIOR TO ANY DEMOLITION AND/OR GRADING ACTIVITY FOR CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF EXISTING UTILITIES AT POINTS OF CONNECTION AND POINTS OF POSSIBLE CONFLICT PRIOR TO CONSTRUCTION. NOTIFY THE PROFESSIONAL IMMEDIATELY IF A CONFLICT DOES ARISE, OR IF THE INDICATED GRADES CANNOT BE MAINTAINED.
- THE CONTRACTOR SHALL PROVIDE SAFETY, BUILDING INGRESS / EGRESS AND TRAFFIC CONTROL MEASURES DURING CONSTRUCTION. EMERGENCY VEHICLES MUST BE ALLOWED TO ENTER THE CONSTRUCTION SITE AT ALL TIMES.
- ALL UTILITY DISCONNECTIONS FOR DEMOLITION AND/OR CONSTRUCTION SHALL BE COORDINATED WITH THE ENGINEER AND COUNTY REPRESENTATIVE.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS ON A DAILY BASIS.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN AN ACCURATE, UP-TO-DATE AS-BUILT RECORD OF THE INSTALLED LOCATIONS OF ALL WORK AND DEVIATIONS FROM SPECIFIED MATERIAL AND EQUIPMENT, MARKED IN RED INK, ON A SET OF CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL OBTAIN AND SUBMIT PROOF/COPIES OF ALL NECESSARY PERMITS FOR CONSTRUCTION TO THE COUNTY REPRESENTATIVE AND ENGINEER/ARCHITECT.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK BETWEEN ALL, IN THE PROPER INSTALLATION AND COMPLETION OF THE PART OR PARTS OF THE PROJECT.

**PROJECT SYMBOLS LEGEND**

	SECTION		CENTERLINE
	ELEVATION		PROJECT LIMIT LINE
	DETAIL		ELEVATION KEY
	ENLARGED DETAIL		ELEVATION SPOT KEY
	KEYED NOTE		DIMENSION LINE
			N.I.C. NOT IN CONTRACT
			C.I.P. CAST IN PLACE
			V.I.F. VERIFY IN FIELD

FOR ADDITIONAL SYMBOLS SEE INDIVIDUAL SHEETS

**ABBREVIATIONS**

ABV	ABOVE	J.B.	JOIST BEARING
ALUM	ALUMINUM	JAN	JANITOR
ACOUS	ACOUSTICAL	MAX	MAXIMUM
AFF	ABOVE FINISH FLOOR	MECH	MECHANICAL
ALT	ALTERNATE	MTL	METAL
APPLIC	APPLICABLE	MT(D)	MOUNT(ED)
B.L	BORROWED LIGHT	N.I.C.	NOT IN CONTRACT
BLK	BLOCK	O.C.	ON CENTER
BRG	BEARING	OPP	OPPOSITE
BLKG	BLOCKING	OPNG	OPENING
BLDG	BUILDING	O.A.DUCT	OUTSIDE AIR DUCT
C.C.	CENTER TO CENTER	P.C.	PRECAST
CONC	CONCRETE	PLLM	PLASTIC LAMINATE
CONT	CONTINUOUS	PNT	PAINT
COL	COLUMN	PTD	PAINTED
CMU	CONCRETE MASONRY UNIT	R	RADIUS
C.J.	CONTROL JOINT	RTN	RETURN
CLG	CEILING	REINF	REINFORCEMENT
COMP	COMPOSITION	REF	REFER
CG	CORNER GUARD	REV	REVERSE
CU	CONDENSER UNIT	RES	RESILIENT
DTL	DETAIL	RWC	RAIN WATER CONDUCTOR
DN	DOWN	S.C.	SOLID CORE
DIM	DIMENSION	SIM	SIMILAR
DS	DOWNSPOUT	STOR	STORAGE
EIFS	EXTERIOR INSULATION FINISH SYSTEM	STL	STEEL
EXG	EXISTING	SCHED	SCHEDULE
EXP JT	EXPANSION JOINT	STRUCT	STRUCTURAL
EWC	ELECTRIC WATER COOLER	ST	STAINLESS
EA	EACH	STD	STANDARD
EQ	EQUAL	SAN	SANITARY
ELEC	ELECTRICAL	S.S.	SANITARY SEWER
ELEV	ELEVATOR	SB	SPLASH BLOCK
EF	EXHAUST FAN	T.B.D	TO BE DETERMINED
ETR	EXISTING TO REMAIN	T.B.S.	TO BE SELECTED
FT	FOOT	T.O.M.	TOP OF MASONRY
F.F.	FINISH FLOOR	TYP.	TYPICAL
F.SLAB	FINISH SLAB	TELE	TELEPHONE
F.R.	FIRE RESISTIVE	TEMP	TEMPERED
FE	FIRE EXTINGUISHER	U.L.	UNDERWRITER'S LAB
FEC	FIRE EXT IN CAB	U/S	UNDERSIDE
F.O.S.	FACE OF STUD	U.N.O.	UNLESS NOTED OTHERWISE
F.S.W.	FIRE SEPARATION WALL	VERT	VERTICAL
GYP.BD.	GYPSSUM BOARD	V	VENT
GL	GLASS	VF	VENTILATION FAN
GA	GAGE OR GAUGE	W/	WITH
GWB	GYPSSUM WALL BOARD	W/O	WITHOUT
H.M.	HOLLOW METAL	WD	WOOD
HR	HOUR	WDW	WINDOW
INSUL	INSULATION	W.R.	WATER RESISTIVE
INT	INTERIOR		



THE USE OF THE TERM ACCESSIBLE IN THESE DOCUMENTS SHALL BE INTERPRETED TO DELINEATE TECHNICAL ELEMENTS (FIXTURES, EQUIPMENT, MATERIALS, ETC.) THAT ARE IN COMPLIANCE WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT OF 1990, PUBLIC LAW 101-336 AND MEET PERFORMANCE STANDARDS FOR PEOPLE WITH PHYSICAL DISABILITIES AS PROVIDED FOR IN THE ADA ACCESSIBLE GUIDELINES (ADAAG). ELEMENTS MUST ALSO BE IN COMPLIANCE WITH BOCA 1996 AND ANSI A117.1 1992.

**SHEET INDEX**

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18	L-502	SITE DETAILS
19	L-600	PLANTING DETAILS
20	E-101	EXISTING ELECTRICAL
21	E-102	PROPOSED ELECTRICAL





# CONGRESS SQUARE PORTLAND, ME

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KEY PLAN



ISSUE

REV #	DATE	DESCRIPTION
A	03-07-18	PROGRESS PRINT
B	03-09-18	50% DD

SEALS

## 50% DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

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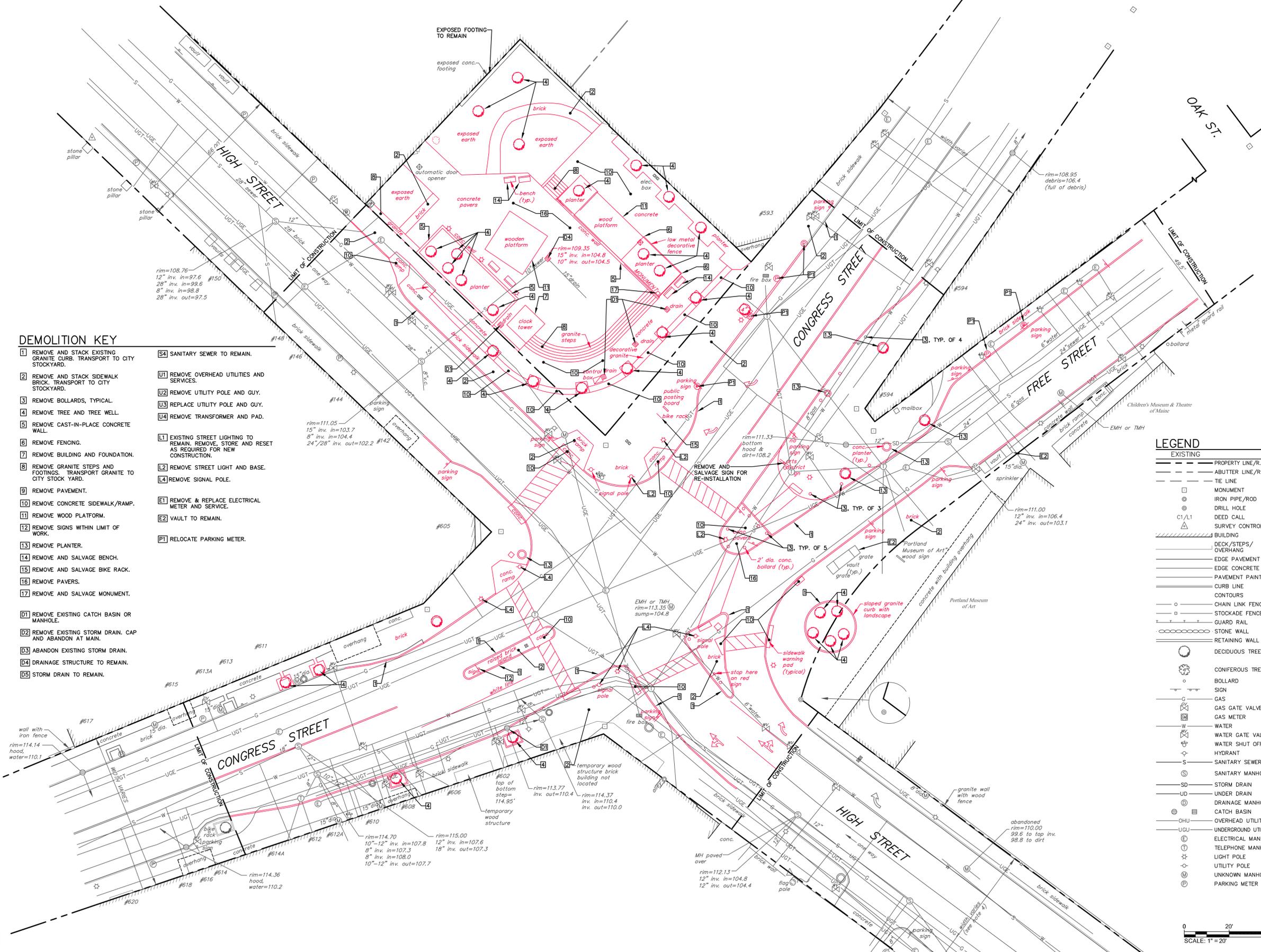
JOB #	16023-01	DRAWN BY	JAR
DATE	03-07-2018	CHECKED BY	DLR
SCALE	AS NOTED		

DRAWING TITLE

### SITE DEMOLITION PLAN

DRAWING #

# C-101

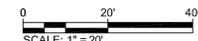


### DEMOLITION KEY

- 1 REMOVE AND STACK EXISTING GRANITE CURB. TRANSPORT TO CITY STOCKYARD.
- 2 REMOVE AND STACK SIDEWALK BRICK. TRANSPORT TO CITY STOCKYARD.
- 3 REMOVE BOLLARDS, TYPICAL.
- 4 REMOVE TREE AND TREE WELL.
- 5 REMOVE CAST-IN-PLACE CONCRETE WALL.
- 6 REMOVE FENCING.
- 7 REMOVE BUILDING AND FOUNDATION.
- 8 REMOVE GRANITE STEPS AND FOOTINGS. TRANSPORT GRANITE TO CITY STOCK YARD.
- 9 REMOVE PAVEMENT.
- 10 REMOVE CONCRETE SIDEWALK/RAMP.
- 11 REMOVE WOOD PLATFORM.
- 12 REMOVE SIGNS WITHIN LIMIT OF WORK.
- 13 REMOVE PLANTER.
- 14 REMOVE AND SALVAGE BENCH.
- 15 REMOVE AND SALVAGE BIKE RACK.
- 16 REMOVE PAVERS.
- 17 REMOVE AND SALVAGE MONUMENT.
- D1 REMOVE EXISTING CATCH BASIN OR MANHOLE.
- D2 REMOVE EXISTING STORM DRAIN. CAP AND ABANDON AT MAIN.
- D3 ABANDON EXISTING STORM DRAIN.
- D4 DRAINAGE STRUCTURE TO REMAIN.
- D5 STORM DRAIN TO REMAIN.
- S4 SANITARY SEWER TO REMAIN.
- U1 REMOVE OVERHEAD UTILITIES AND SERVICES.
- U2 REMOVE UTILITY POLE AND GUY.
- U3 REPLACE UTILITY POLE AND GUY.
- U4 REMOVE TRANSFORMER AND PAD.
- L1 EXISTING STREET LIGHTING TO REMAIN. REMOVE, STORE AND RESET AS REQUIRED FOR NEW CONSTRUCTION.
- L2 REMOVE STREET LIGHT AND BASE.
- L4 REMOVE SIGNAL POLE.
- E1 REMOVE & REPLACE ELECTRICAL METER AND SERVICE.
- E2 VAULT TO REMAIN.
- P1 RELOCATE PARKING METER.

### LEGEND

- EXISTING
- PROPERTY LINE/R.O.W.
  - - - ABUTTER LINE/R.O.W.
  - TIE LINE
  - MONUMENT
  - IRON PIPE/ROD
  - DRILL HOLE
  - DEED CALL
  - △ SURVEY CONTROL
  - BUILDING
  - DECK/STEPS/OVERHANG
  - EDGE PAVEMENT
  - EDGE CONCRETE
  - PAVEMENT PAINT
  - CURB LINE
  - CONTOURS
  - CHAIN LINK FENCE
  - STOCKADE FENCE
  - GUARD RAIL
  - STONE WALL
  - RETAINING WALL
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - BOLLARD
  - SIGN
  - GAS
  - GAS GATE VALVE
  - GAS METER
  - WATER
  - WATER GATE VALVE
  - WATER SHUT OFF
  - HYDRANT
  - SANITARY SEWER
  - SANITARY MANHOLE
  - STORM DRAIN
  - UNDER DRAIN
  - DRAINAGE MANHOLE
  - CATCH BASIN
  - OHU OVERHEAD UTILITY
  - UGU UNDERGROUND UTILITY
  - ELECTRICAL MANHOLE
  - TELEPHONE MANHOLE
  - LIGHT POLE
  - UTILITY POLE
  - UNKNOWN MANHOLE
  - PARKING METER



**CONGRESS SQUARE**  
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CITY OF PORTLAND, MAINE

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WATER FEATURE DESIGN

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904.886.9030

COST ESTIMATING

**VJ ASSOCIATES**  
35 HIGHLAND CIRCLE, SUITE 2800  
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KEY PLAN



ISSUE

REV #	DATE	DESCRIPTION
A	03-07-18	PROGRESS PRINT
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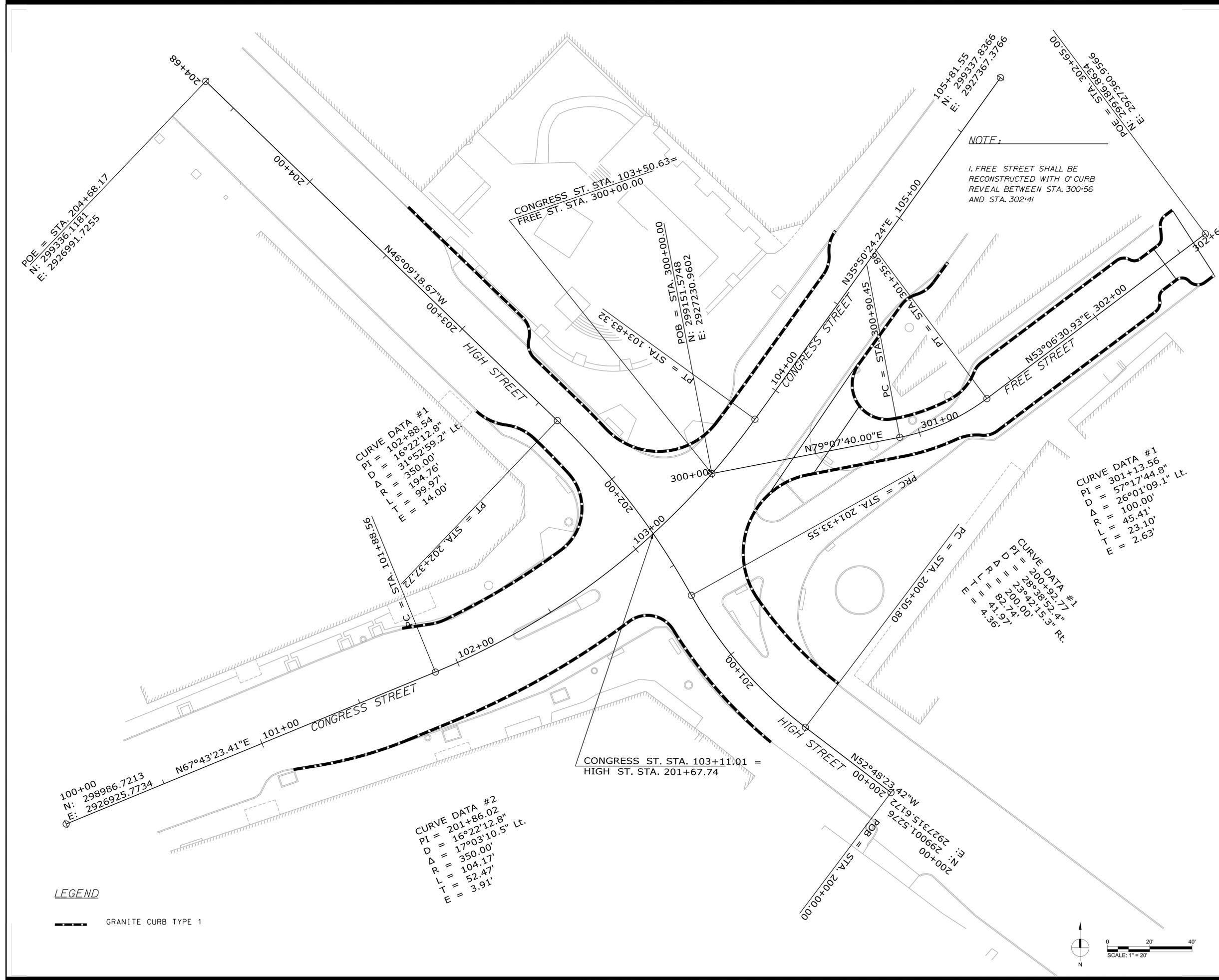
JOB #	16023-01	DRAWN BY	SCK
DATE	03-07-2018	CHECKED BY	SSS
SCALE	AS NOTED		

DRAWING TITLE

**ROADWAY GEOMETRIC PLAN**

DRAWING #

**C-102**



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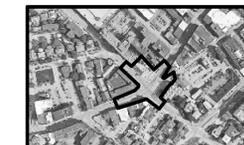
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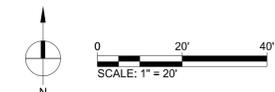
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SCALE	AS NOTED		

DRAWING TITLE  
**ROADWAY CONSTRUCTION PLAN**

DRAWING #  
**C-103**

**TYPE OF CONSTRUCTION LEGEND**

-  FULL DEPTH RECONSTRUCTION (GRAVEL BASE AND PAVEMENT)
-  PAVEMENT AND/OR CONCRETE REMOVAL, FINE GRADE GRAVEL BASE AND REPAVE
-  MILL AND OVERLAY
-  PAVEMENT REMOVAL/NEW SIDEWALK AREA



LIMITS OF WORK  
HIGH STREET  
STA. 204+00.00

LIMITS OF WORK  
FREE STREET  
STA. 302+58.00

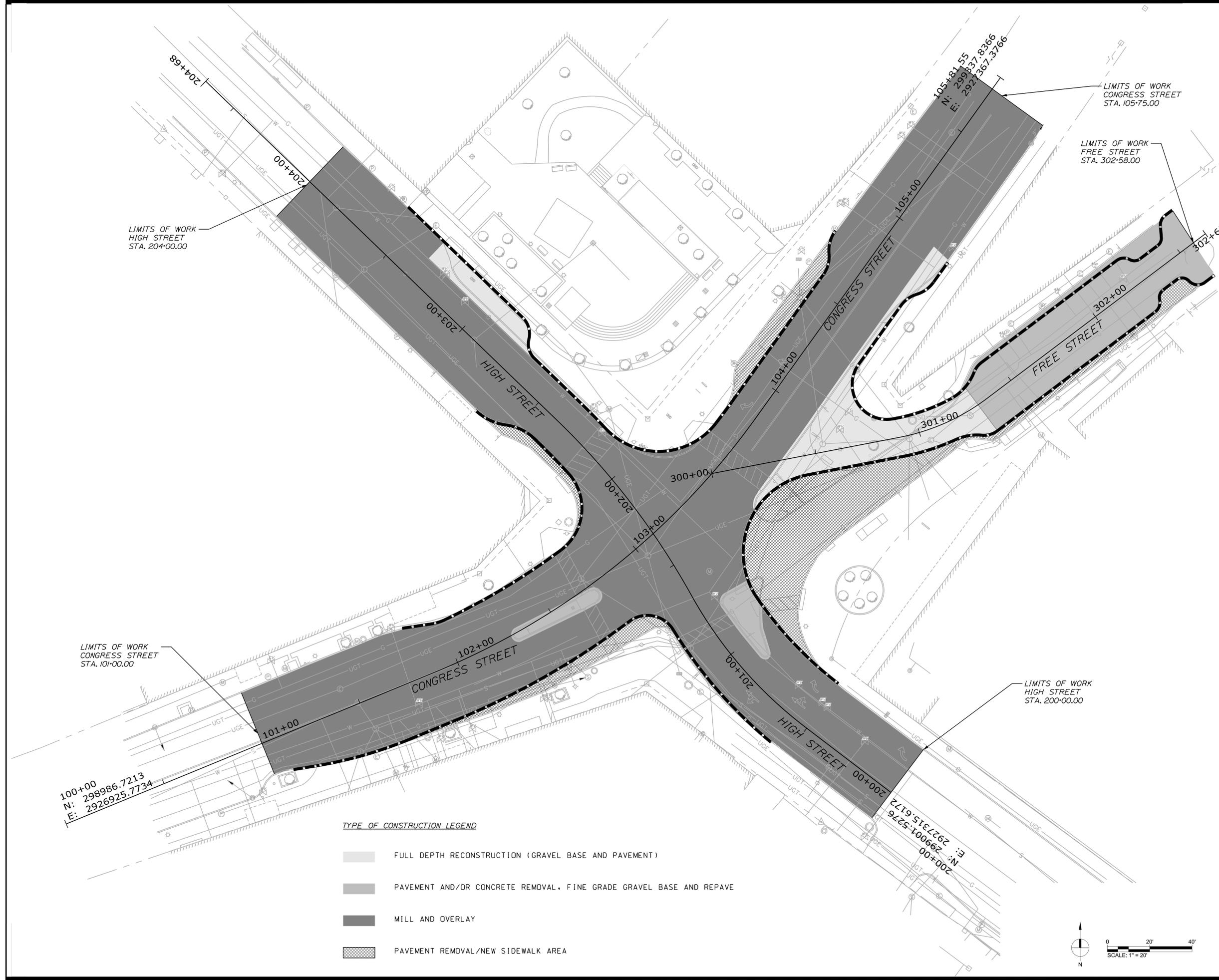
LIMITS OF WORK  
HIGH STREET  
STA. 200+00.00

LIMITS OF WORK  
CONGRESS STREET  
STA. 101+00.00

100+00  
N: 298986.7213  
E: 2926925.7734

200+00  
N: 299001.5276  
E: 2927315.6172

105+81.55  
N: 299837.8366  
E: 2927367.3766



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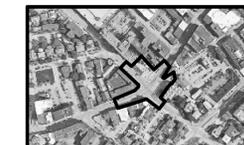
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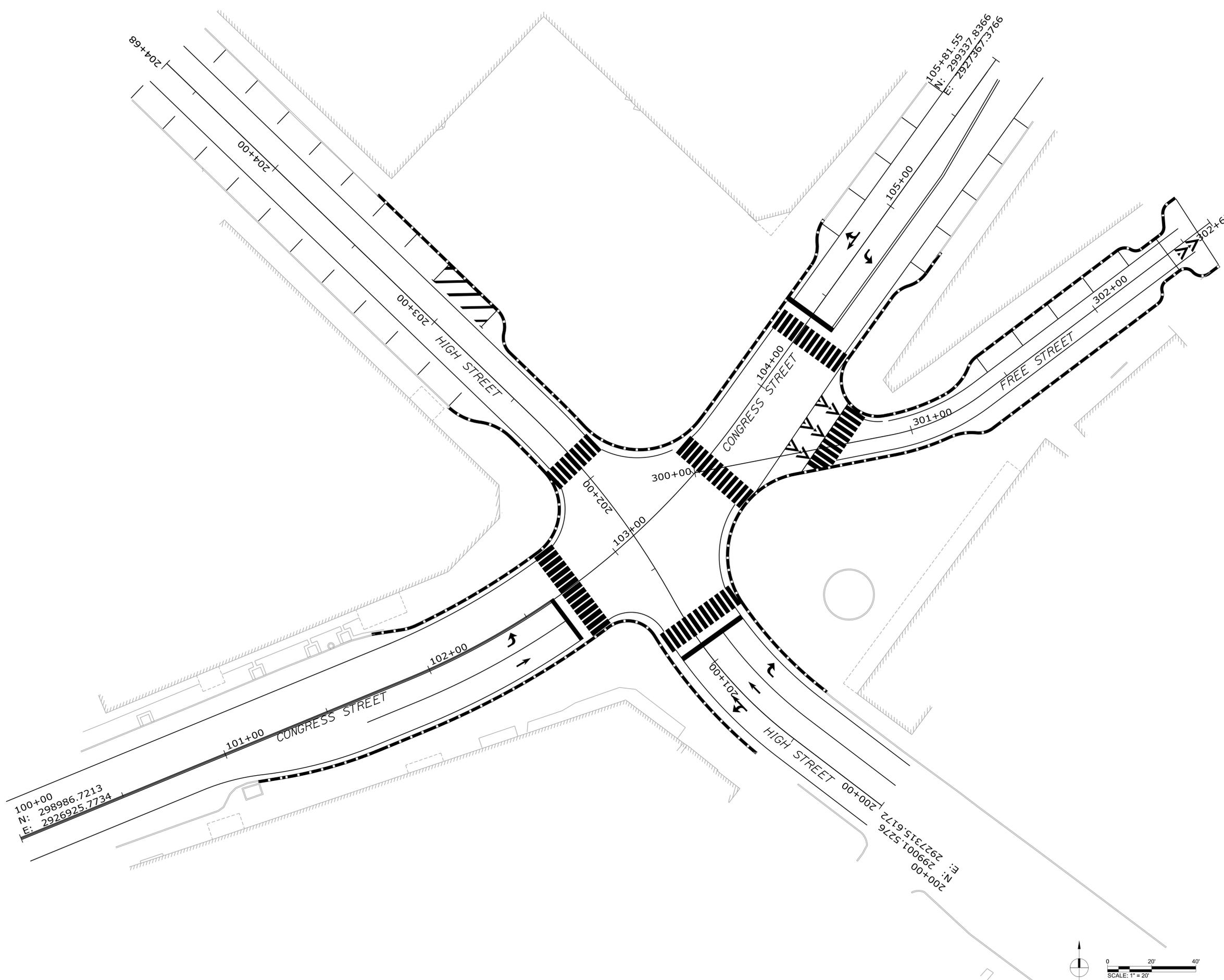
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DRAWING TITLE  
**PAVEMENT MARKING PLAN**

DRAWING #  
**C-104**



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DRAWING TITLE

**TRAFFIC SIGNAL PLAN**

DRAWING #

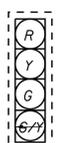
**C-105**

SIGNAL LAYOUT

STRUCTURE	LOCATION	DESCRIPTION	FOUNDATION
A		25' MAST ARM W/ LUMINAIRE MOUNTED ON ARM	
B		8' PEDESTAL POLE	
C		8' PEDESTAL POLE	
D		8' PEDESTAL POLE	
E		8' PEDESTAL POLE	
F		30' MAST ARM W/ LUMINAIRE MOUNTED ON ARM	
G		8' PEDESTAL POLE	
H		35' MAST ARM W/ LUMINAIRE MOUNTED ON ARM	
I		8' PEDESTAL POLE	
J		8' PEDESTAL POLE	
K		CONTROL CABINET	
L		8' PEDESTAL POLE	
M		8' PEDESTAL POLE	
N		8' PEDESTAL POLE	
O		8' PEDESTAL POLE	
P		8' PEDESTAL POLE	

PROPOSED SIGNAL INDICATIONS

DISPLAYS:  $\phi 2, \phi 4, \phi 6$

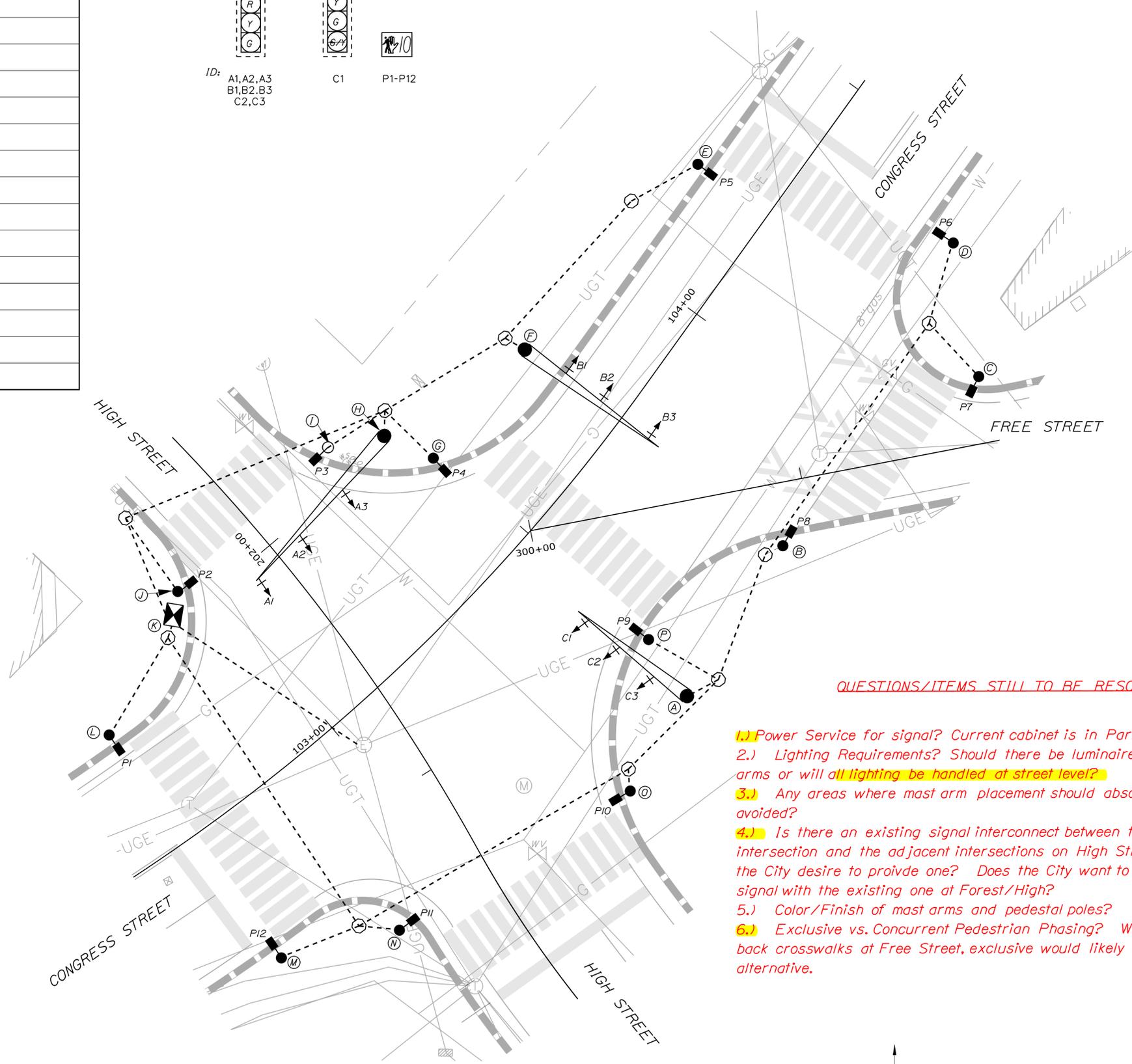


C1



P1-P12

ID:  
A1,A2,A3  
B1,B2,B3  
C2,C3

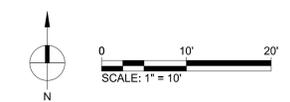


*QUESTIONS/ITEMS STILL TO BE RESOLVED*

- 1.) Power Service for signal? Current cabinet is in Park.
- 2.) Lighting Requirements? Should there be luminaires on the mast arms or will all lighting be handled at street level?
- 3.) Any areas where mast arm placement should absolutely be avoided?
- 4.) Is there an existing signal interconnect between this intersection and the adjacent intersections on High Street? Does the City desire to provide one? Does the City want to connect this signal with the existing one at Forest/High?
- 5.) Color/Finish of mast arms and pedestal poles?
- 6.) Exclusive vs. Concurrent Pedestrian Phasing? With the pushed back crosswalks at Free Street, exclusive would likely be the safer alternative.

LEGEND

---	SIGNAL CONDUIT
+	VEHICULAR SIGNAL HEAD
■	PEDESTRIAN SIGNAL HEAD
●	FOUNDATION (SIZE VARIES)
⊠	CONTROLLER CABINET
○	JUNCTION BOX







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KEY PLAN



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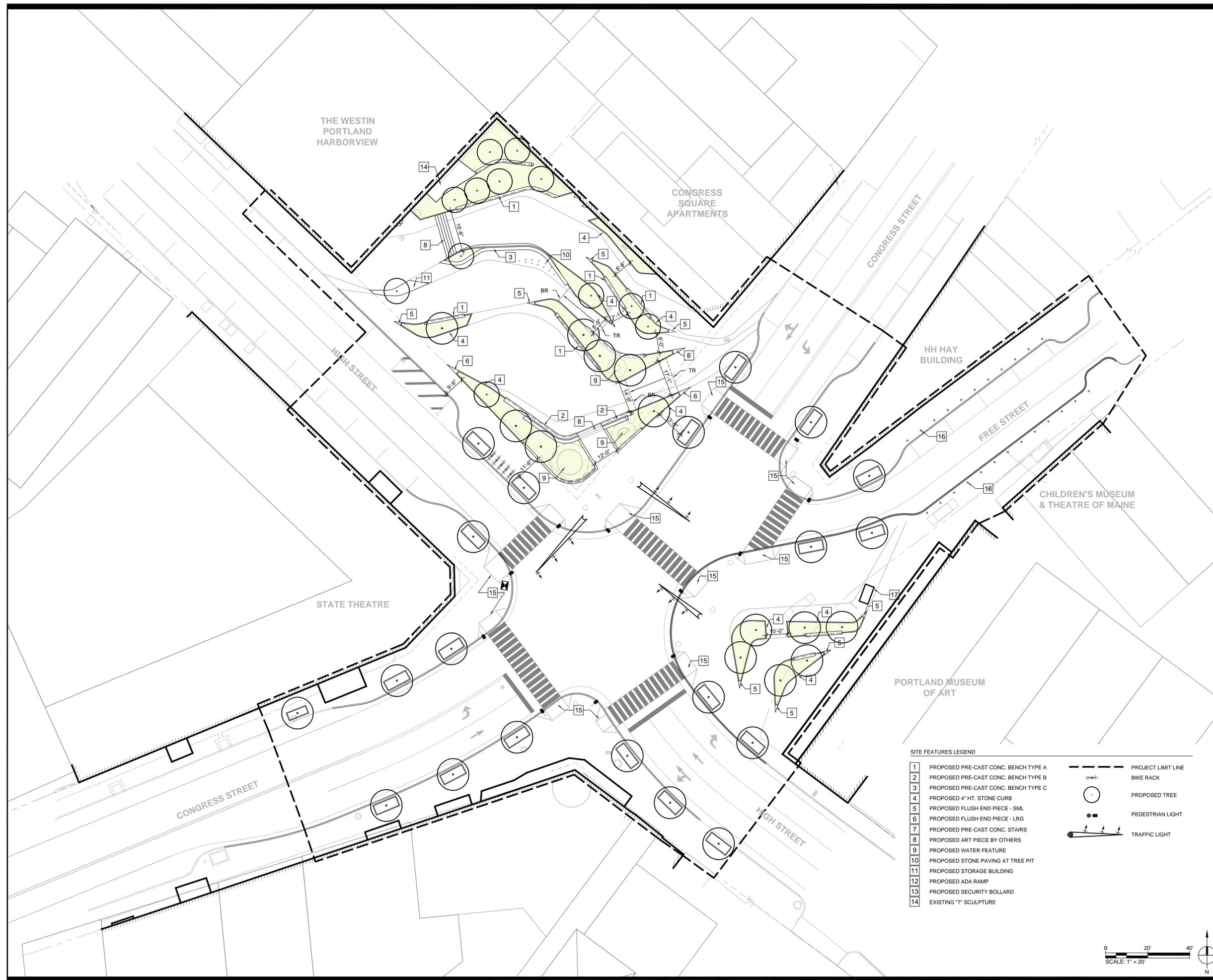
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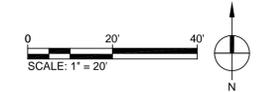
DRAWING TITLE  
**LAYOUT PLAN**

DRAWING #  
**L-101**



SITE FEATURES LEGEND

- |    |                                      |     |                    |
|----|--------------------------------------|-----|--------------------|
| 1  | PROPOSED PRE-CAST CONC. BENCH TYPE A | --- | PROJECT LIMIT LINE |
| 2  | PROPOSED PRE-CAST CONC. BENCH TYPE B | ⊗   | BIKE RACK          |
| 3  | PROPOSED PRE-CAST CONC. BENCH TYPE C | ○   | PROPOSED TREE      |
| 4  | PROPOSED 4" HT. STONE CURB           | ●   | PEDESTRIAN LIGHT   |
| 5  | PROPOSED FLUSH END PIECE - SML       | ⊠   | TRAFFIC LIGHT      |
| 6  | PROPOSED FLUSH END PIECE - LRG       |     |                    |
| 7  | PROPOSED PRE-CAST CONC. STAIRS       |     |                    |
| 8  | PROPOSED ART PIECE BY OTHERS         |     |                    |
| 9  | PROPOSED WATER FEATURE               |     |                    |
| 10 | PROPOSED STONE PAVING AT TREE PIT    |     |                    |
| 11 | PROPOSED STORAGE BUILDING            |     |                    |
| 12 | PROPOSED ADA RAMP                    |     |                    |
| 13 | PROPOSED SECURITY BOLLARD            |     |                    |
| 14 | EXISTING 7" SCULPTURE                |     |                    |



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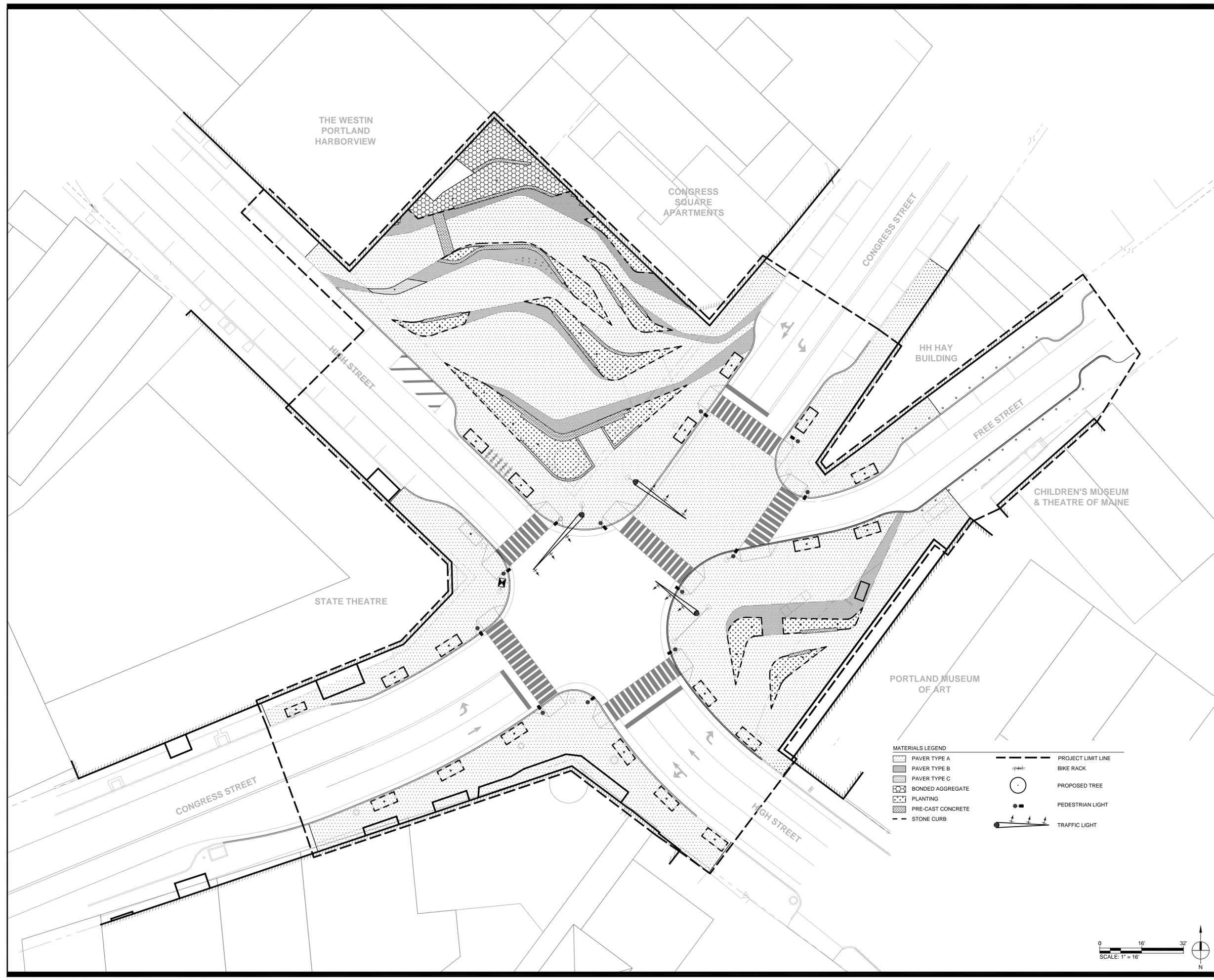
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DRAWING TITLE  
**MATERIALS PLAN**

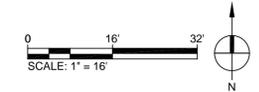
DRAWING #  
**L-102**



**MATERIALS LEGEND**

- PAVER TYPE A
- PAVER TYPE B
- PAVER TYPE C
- BONDED AGGREGATE
- PLANTING
- PRE-CAST CONCRETE
- STONE CURB

- PROJECT LIMIT LINE
- BIKE RACK
- PROPOSED TREE
- PEDESTRIAN LIGHT
- TRAFFIC LIGHT



**CONGRESS SQUARE**  
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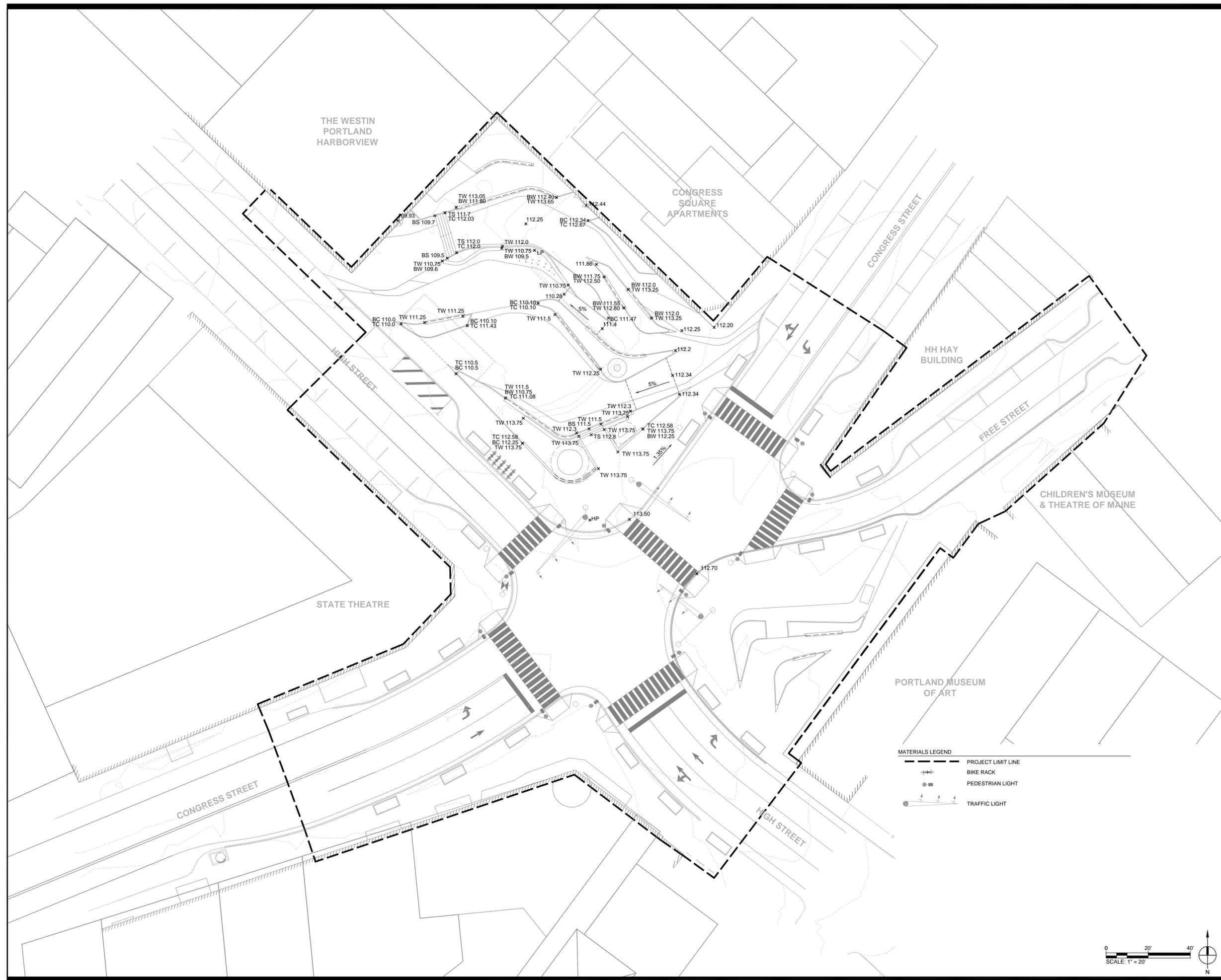
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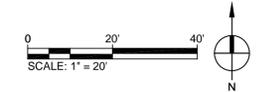
DRAWING TITLE  
**GRADING PLAN**

DRAWING #  
**L-103**



**MATERIALS LEGEND**

- PROJECT LIMIT LINE
- BIKE RACK
- PEDESTRIAN LIGHT
- TRAFFIC LIGHT



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**TILLETT LIGHTING**  
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211.766.0144

WATER FEATURE DESIGN  
**DELTA FOUNTAINS**  
11494 COLUMBIA PARK DR. W., SUITE 4  
JACKSONVILLE, FL 32258  
904.886.9030

COST ESTIMATING  
**VJ ASSOCIATES**  
35 HIGHLAND CIRCLE, SUITE 2800  
NEEDHAM, ME 02949  
781.444.8200

KEY PLAN



ISSUE

REV #	DATE	DESCRIPTION
1	03/12/18	50% DESIGN DEVELOPMENT

SEALS

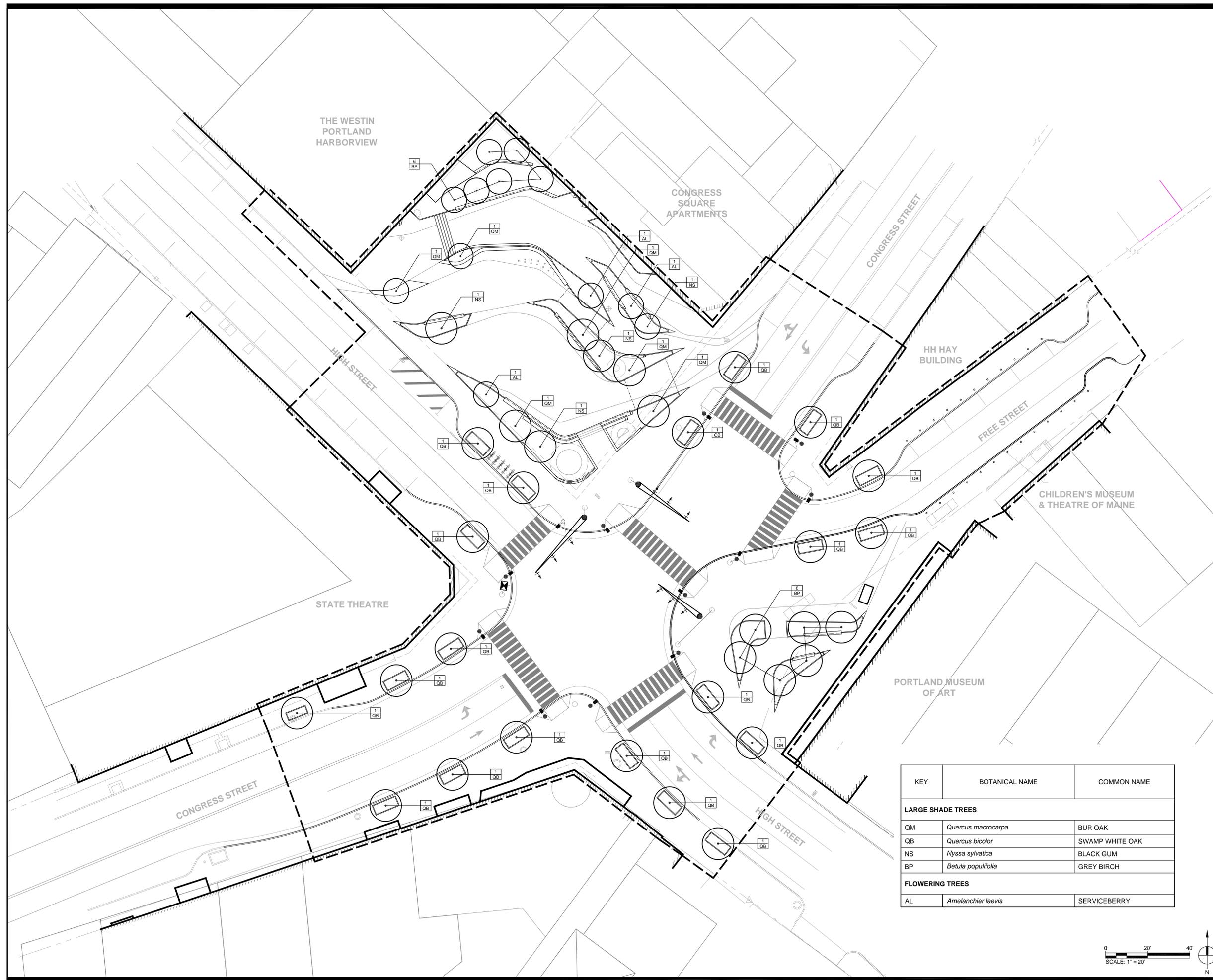
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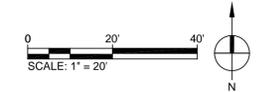
JOB #	DRAWN BY
DATE	CHECKED BY
SCALE	AS NOTED

DRAWING TITLE  
**PLANTING PLAN**

DRAWING #  
**L-104**



KEY	BOTANICAL NAME	COMMON NAME
<b>LARGE SHADE TREES</b>		
QM	<i>Quercus macrocarpa</i>	BUR OAK
QB	<i>Quercus bicolor</i>	SWAMP WHITE OAK
NS	<i>Nyssa sylvatica</i>	BLACK GUM
BP	<i>Betula populifolia</i>	GREY BIRCH
<b>FLOWERING TREES</b>		
AL	<i>Amelanchier laevis</i>	SERVICEBERRY



**CONGRESS SQUARE**  
PORTLAND, ME

CITY OF PORTLAND, MAINE

LANDSCAPE ARCHITECT



**WALLACE ROBERTS & TODD, LLC**  
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207.200.2100

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URBAN HORTICULTURE  
**PATRICK CULLINA**  
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NEW YORK, NY 10001  
718.288.8661

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211.766.0144

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KEY PLAN



ISSUE

REV #	DATE	DESCRIPTION
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SEALS

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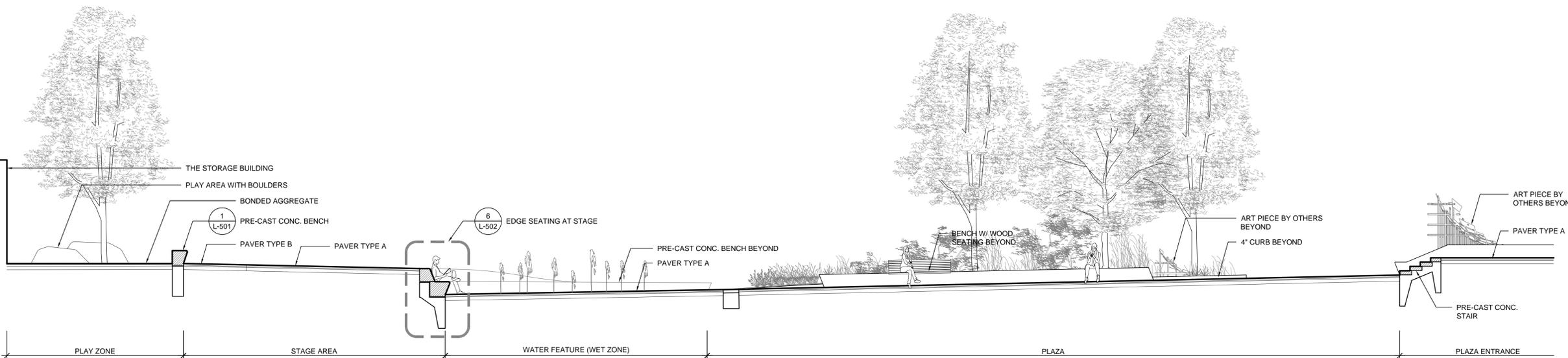
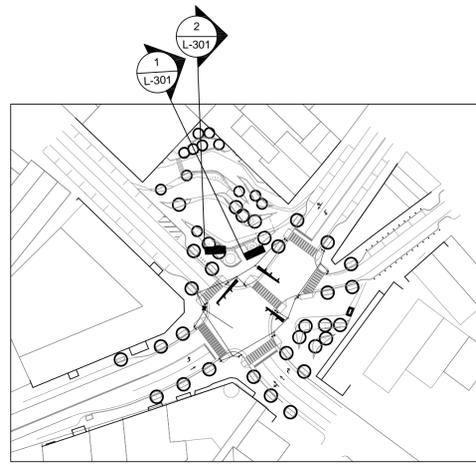
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SCALE	AS NOTED

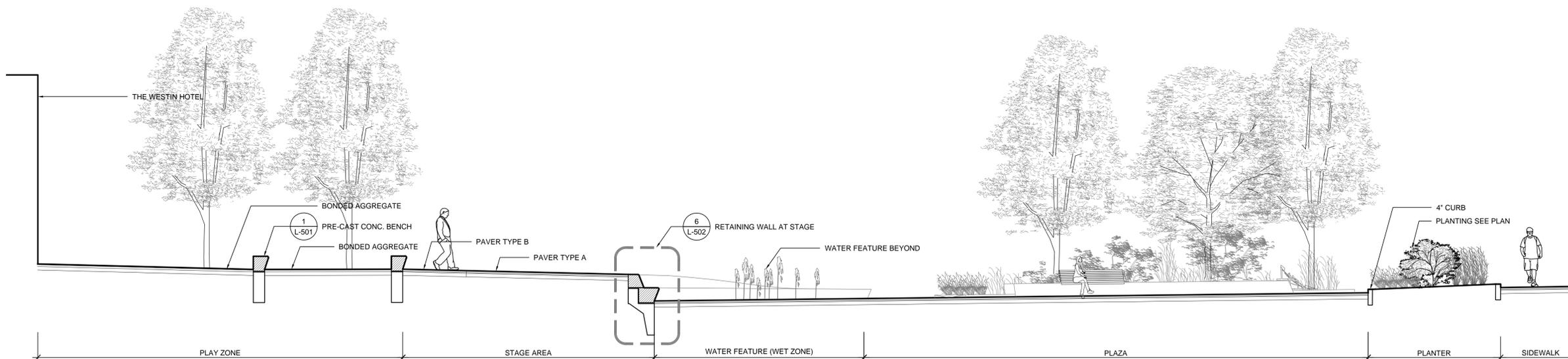
DRAWING TITLE  
**SITE SECTIONS**

DRAWING #

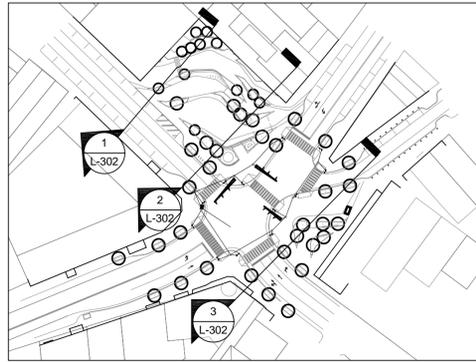
**L-301**



**1 SECTION THROUGH CONGRESS SQUARE PARK**  
SCALE: 3/16" = 1'-0"



**2 SECTION THROUGH CONGRESS SQUARE PARK**  
SCALE: 3/16" = 1'-0"



**CONGRESS SQUARE**  
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SITE LIGHTING

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WATER FEATURE DESIGN

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COST ESTIMATING

**VJ ASSOCIATES**  
35 HIGHLAND CIRCLE, SUITE 2800  
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781.444.8200

KEY PLAN



ISSUE

REV #	DATE	DESCRIPTION
1	03/12/18	50% DESIGN DEVELOPMENT

SEALS

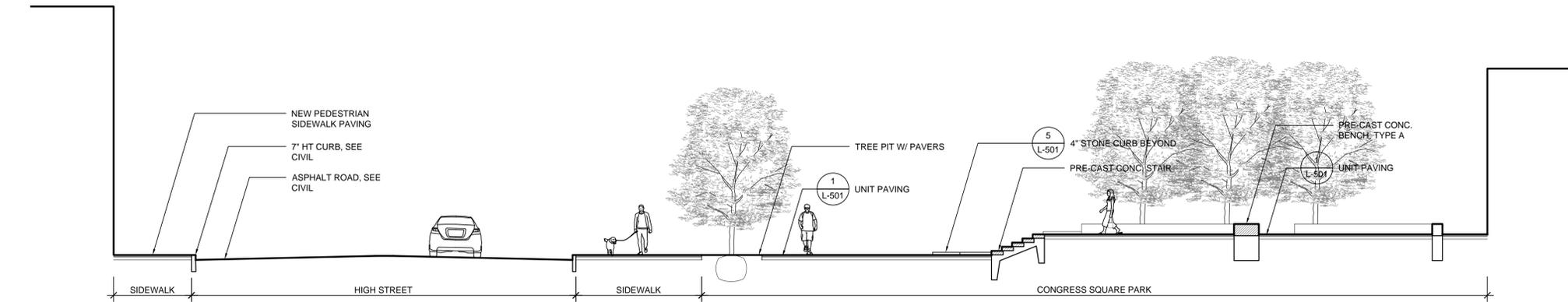
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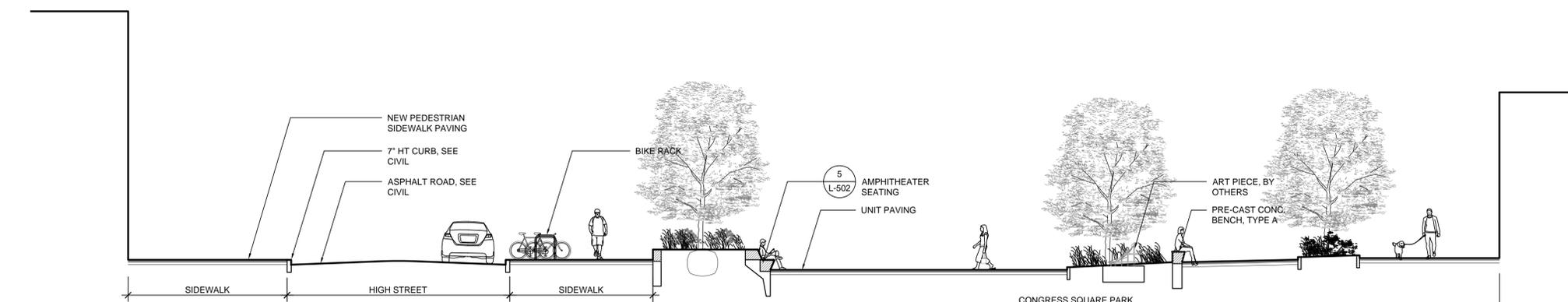
JOB #	DRAWN BY
DATE	CHECKED BY
SCALE	AS NOTED

DRAWING TITLE  
**SITE SECTIONS**

DRAWING #  
**L-302**



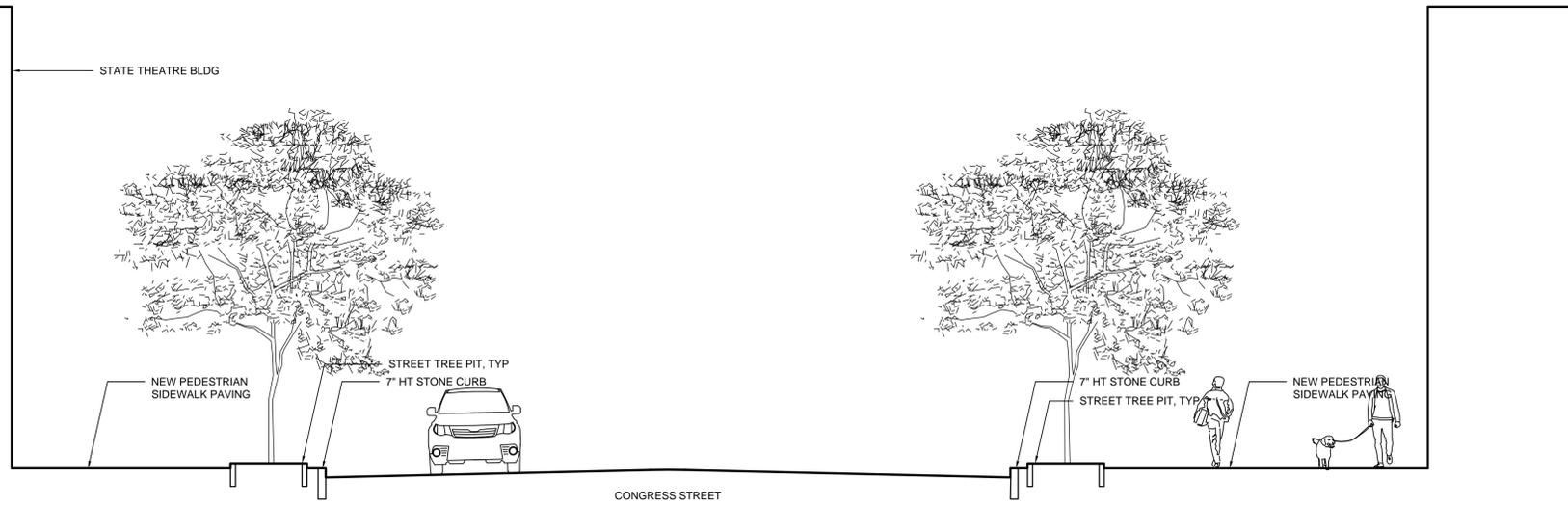
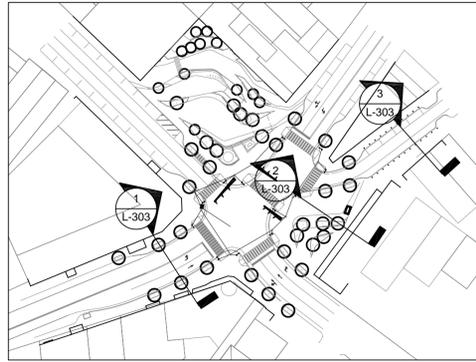
**1 SECTION THROUGH CONGRESS SQUARE PARK**  
SCALE: 1/8" = 1'-0"



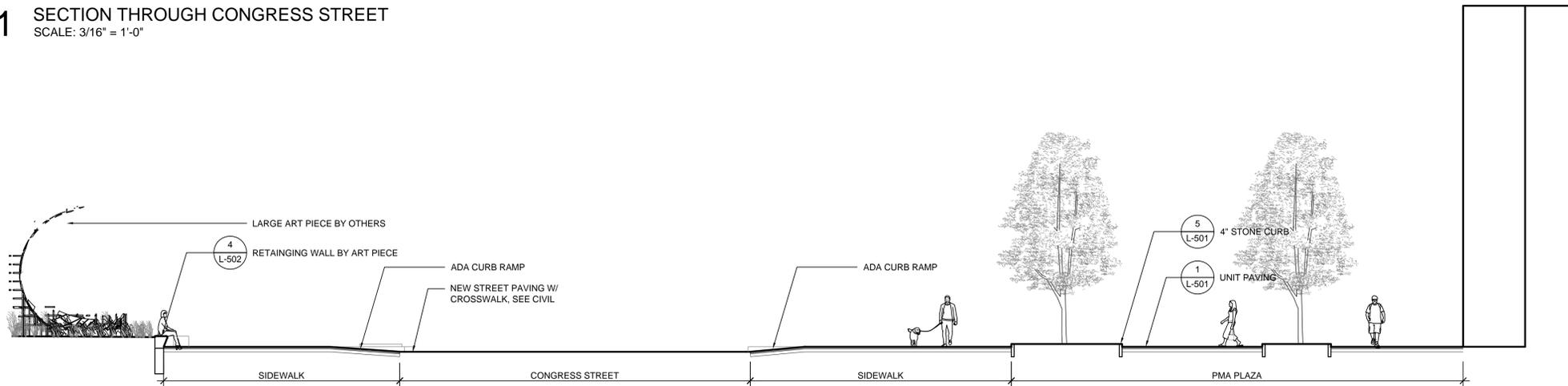
**2 SECTION THROUGH CONGRESS SQUARE PARK**  
SCALE: 1/8" = 1'-0"



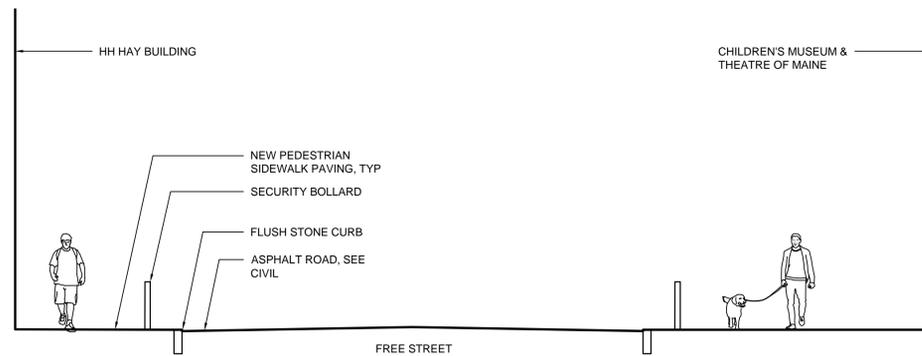
**3 SECTION THROUGH CONGRESS SQUARE PARK**  
SCALE: 1/8" = 1'-0"



**1 SECTION THROUGH CONGRESS STREET**  
SCALE: 3/16" = 1'-0"



**2 SECTION THROUGH PMA PLAZA**  
SCALE: 1/8" = 1'-0"



**3 SECTION THROUGH FREE STREET**  
SCALE: 3/16" = 1'-0"

**CONGRESS SQUARE**  
PORTLAND, ME

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LANDSCAPE ARCHITECT



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KEY PLAN



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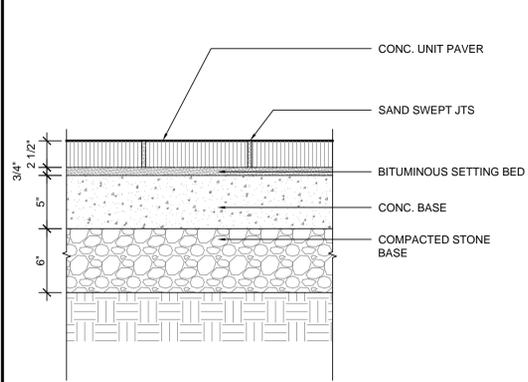
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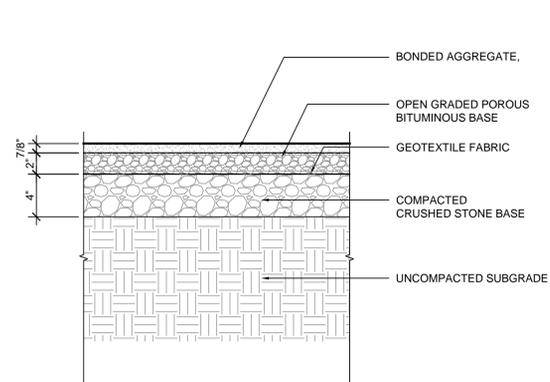
JOB #	DRAWN BY
DATE	CHECKED BY
SCALE	AS NOTED

DRAWING TITLE  
**SITE SECTIONS**

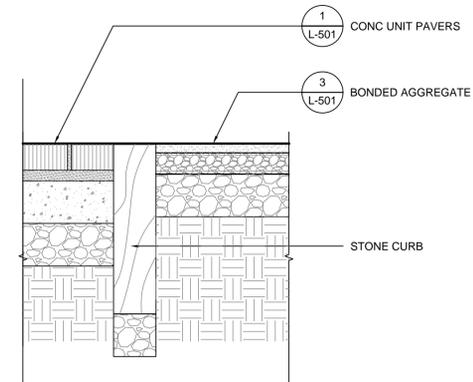
DRAWING #  
**L-303**



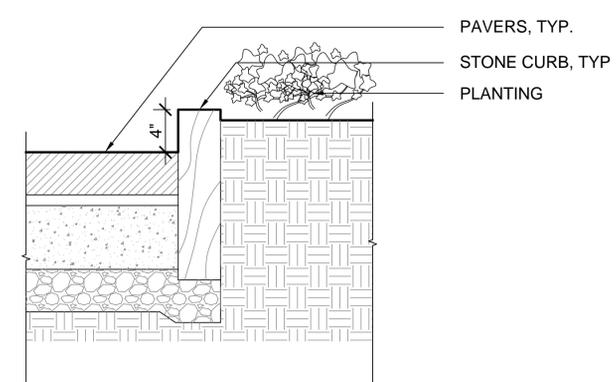
**1** CONC. UNIT PAVERS - SECTION  
SCALE: 1 1/2" = 1'-0"



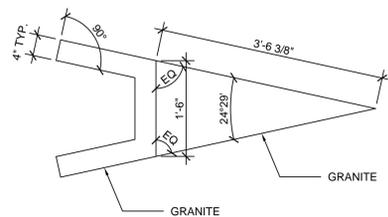
**2** PERMEABLE BONDED AGGREGATE - SECTION  
SCALE: 1 1/2" = 1'-0"



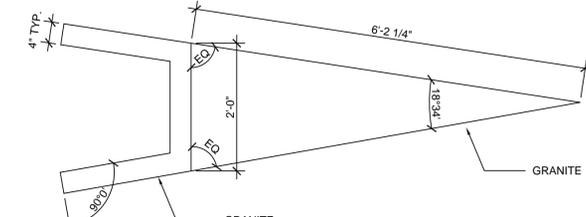
**3** STONE CURB AT BONDED AGGREGATE AND LAWN - SECTION  
SCALE: 1 1/2" = 1'-0"



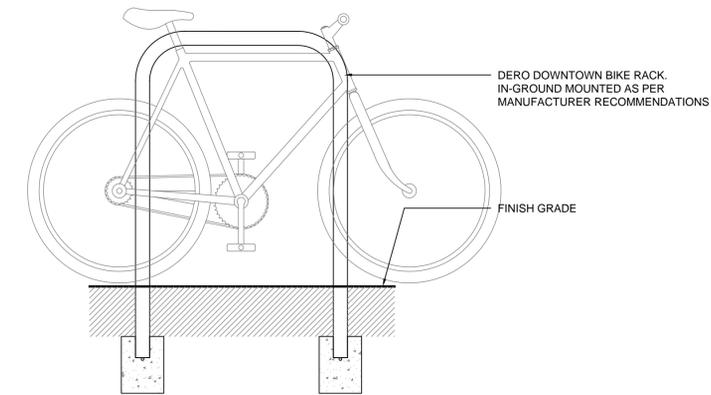
**4** STONE CURB, TYP - SECTION  
SCALE: 1 1/2" = 1'-0"



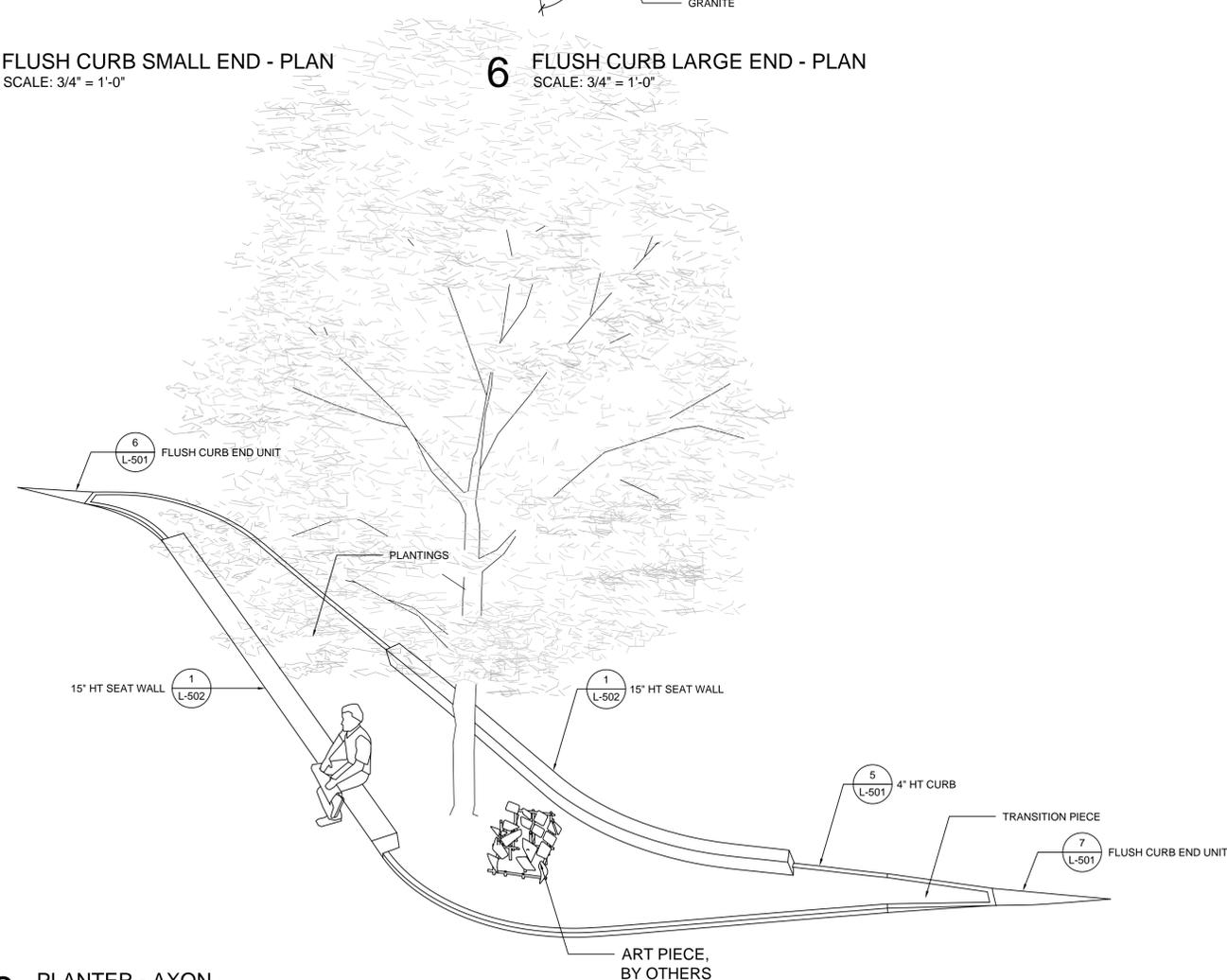
**5** FLUSH CURB SMALL END - PLAN  
SCALE: 3/4" = 1'-0"



**6** FLUSH CURB LARGE END - PLAN  
SCALE: 3/4" = 1'-0"



**7** BIKE RACK, TYP - SECTION  
SCALE: 1" = 1'-0"



**8** PLANTER - AXON  
N.T.S.

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KEY PLAN



ISSUE

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SCALE	AS NOTED	

DRAWING TITLE  
**SITE DETAILS**

DRAWING #

**L-501**



REV #	DATE	DESCRIPTION
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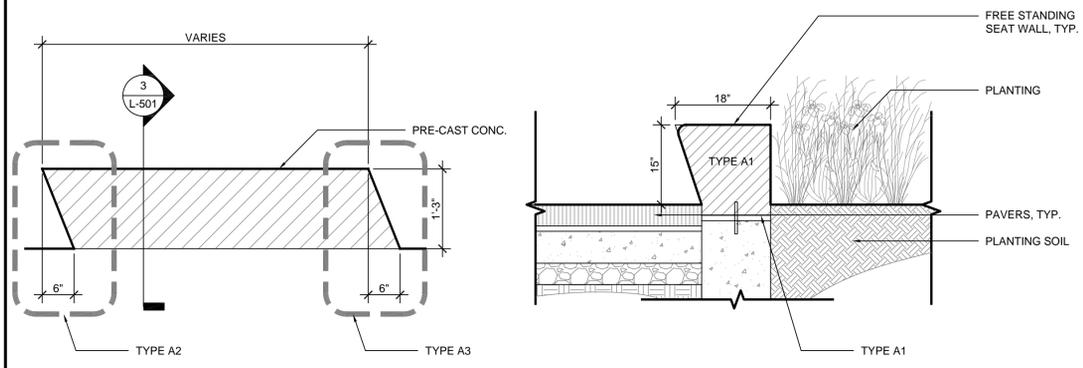
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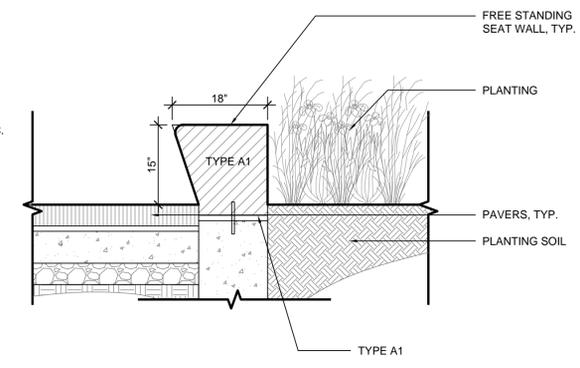
JOB #	DRAWN BY	KP
DATE	CHECKED BY	MC
SCALE	AS NOTED	

DRAWING TITLE  
**SITE DETAILS**

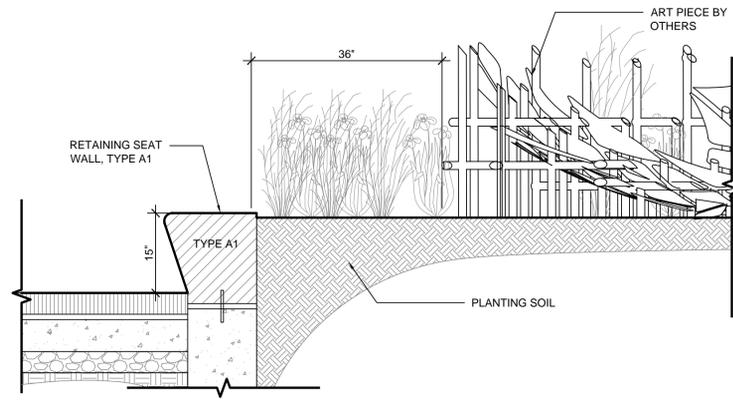
DRAWING #  
**L-502**



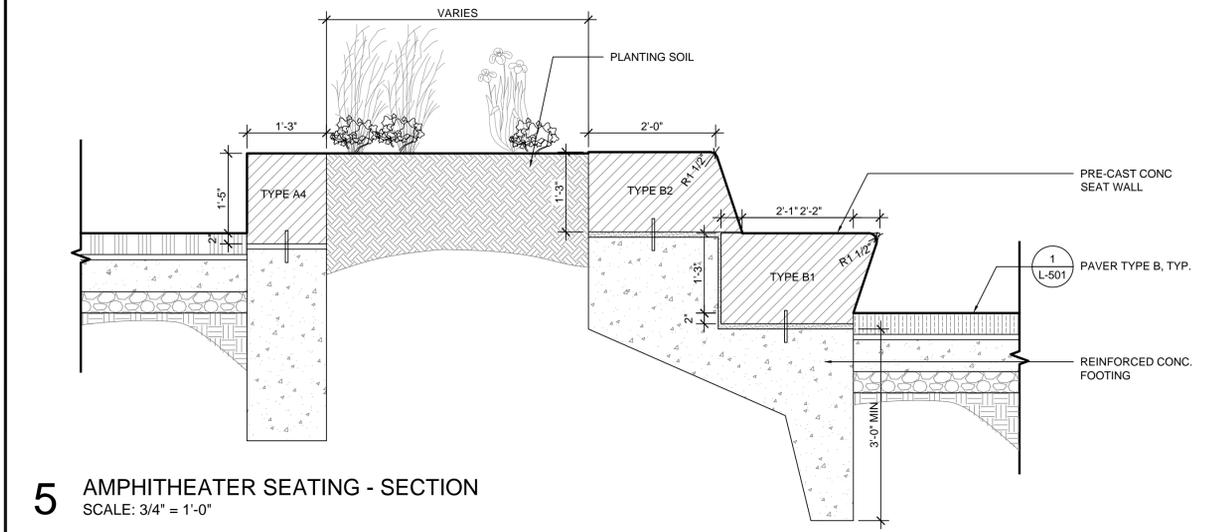
**1 BENCH - ELEVATION**  
SCALE: 3/4" = 1'-0"



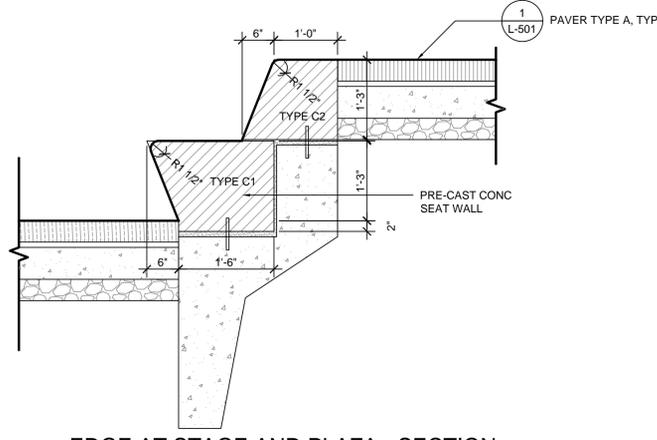
**2 SEAT WALL, TYP - SECTION**  
SCALE: 3/4" = 1'-0"



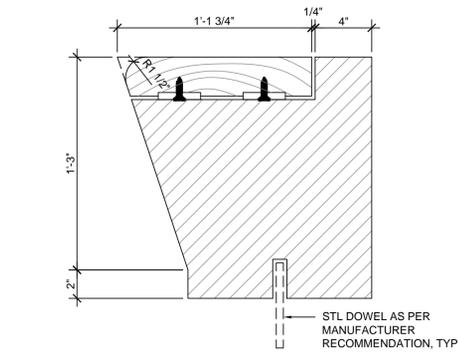
**4 SEAT WALL AT ART PIECE - SECTION**  
SCALE: 3/4" = 1'-0"



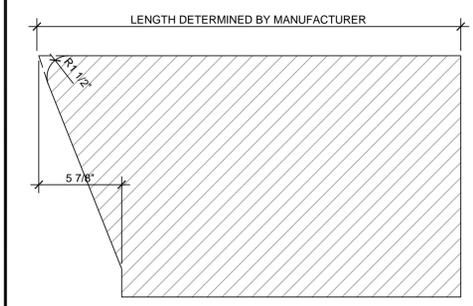
**5 AMPHITHEATER SEATING - SECTION**  
SCALE: 3/4" = 1'-0"



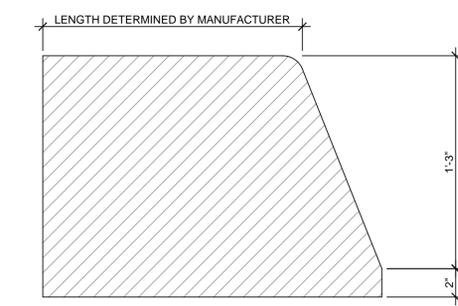
**6 EDGE AT STAGE AND PLAZA - SECTION**  
SCALE: 3/4" = 1'-0"



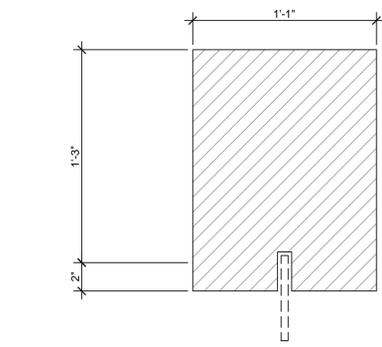
**7 PRE-CAST CONC. BENCH - TYPE A1 WITH WOOD - SECTION**



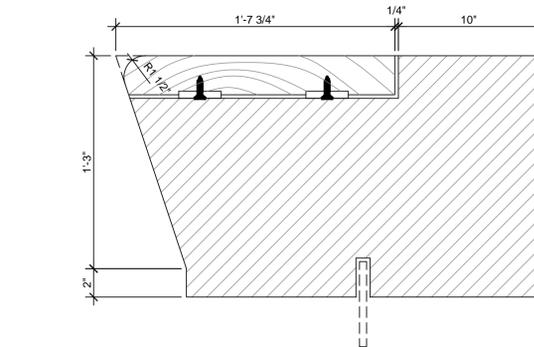
**8 PRE-CAST CONC. BENCH - TYPE A2 - ELEVATION**



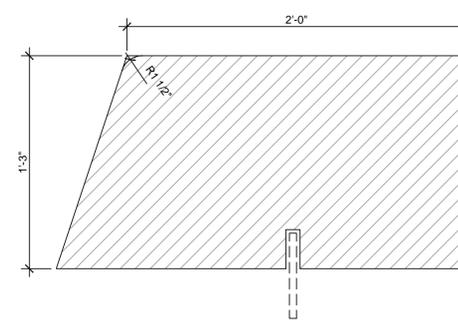
**9 PRE-CAST CONC. BENCH - TYPE A3 - ELEVATION**



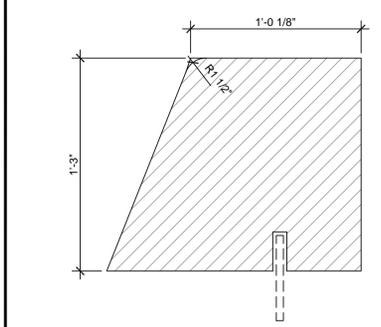
**10 PRE-CAST CONC. BENCH - TYPE A4 - SECTION**



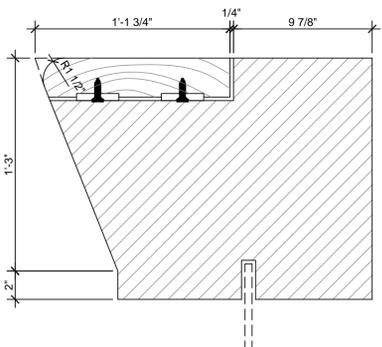
**11 PRE-CAST CONC. BENCH - TYPE B1 SECTION**



**12 PRE-CAST CONC. BENCH - TYPE B2 SECTION**

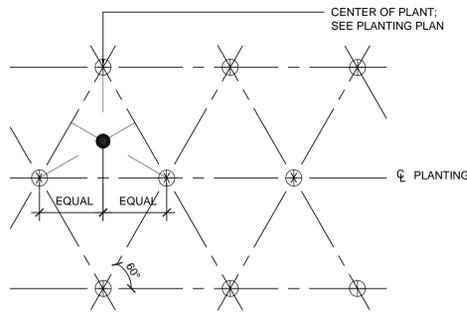


**13 PRE-CAST CONC. BENCH - TYPE C2 SECTION**

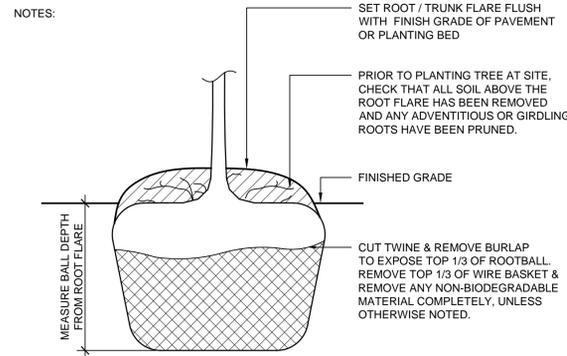


**14 PRE-CAST CONC. BENCH - TYPE C1 SECTION**

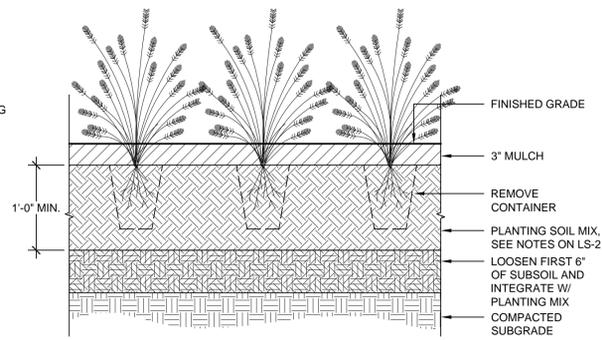
TYPE	DESCRIPTION	QT
A1	TYPICAL MIDDLE	
A2	TYPICAL LEFT SIDE	
A3	TYPICAL RIGHT SIDE	
A4	TYPICAL STRAIGHT	
B1	AMPHITHEATER BOTTOM	
B2	AMPHITHEATER TOP	
C1	STAGE BOTTOM	
C2	STAGE TOP	



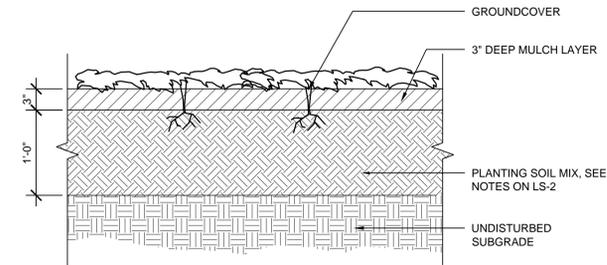
**1** PERENNIAL / ORNAMENTAL GRASS PLANTING PLAN, TYP  
N.T.S.



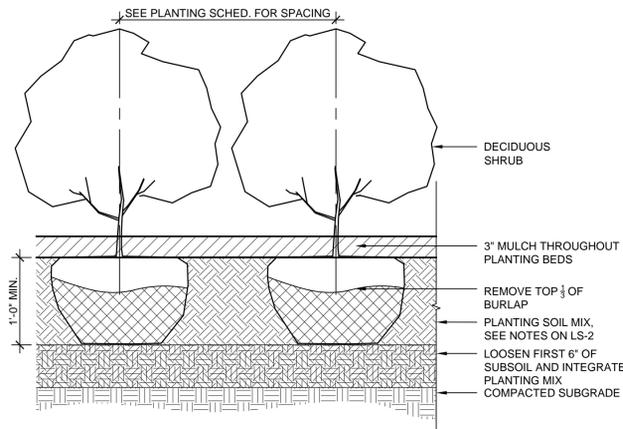
**2** ROOT BALL PREPARATION, TYP  
N.T.S.



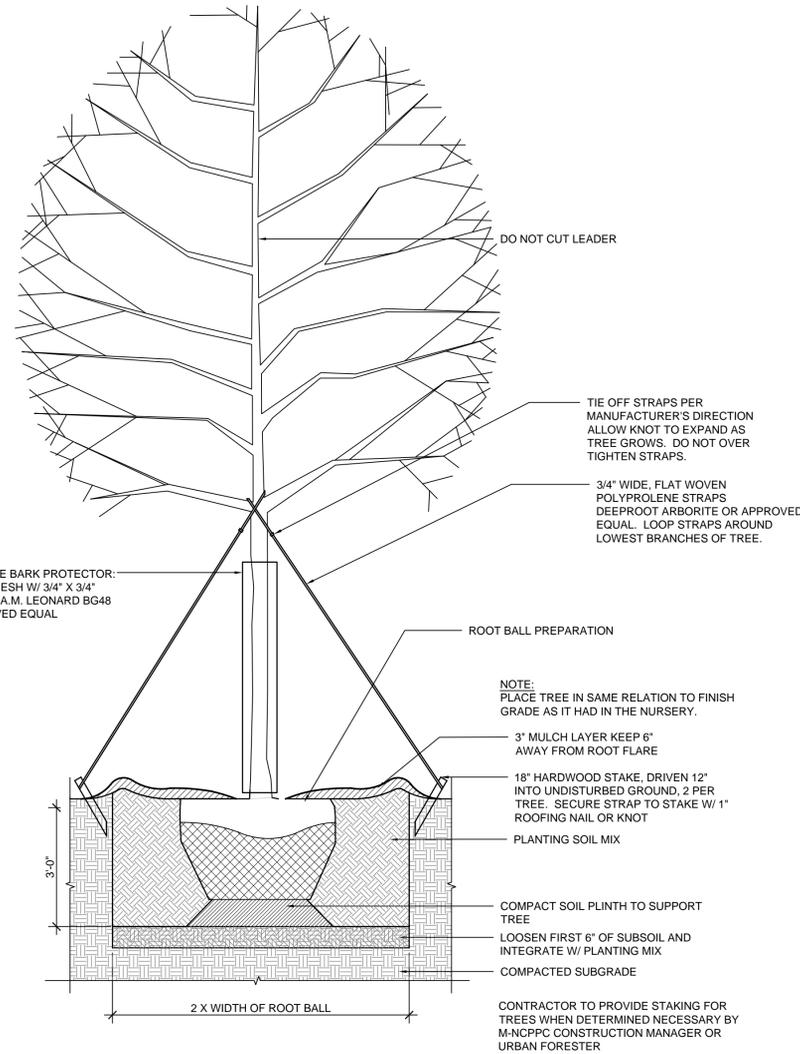
**3** PERENNIAL / ORNAMENTAL GRASS PLANTING  
SCALE: 1" = 1'-0"



**4** GROUNDCOVER / FERNS PLANTING, TYP  
SCALE: 1" = 1'-0"



**4** SHRUB PLANTING, TYP  
N.T.S.



**5** TREE PLANTING IN PLANTING BED, TYP  
SCALE: 1/2" = 1'-0"

**CONGRESS SQUARE**  
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SCALE	AS NOTED	

DRAWING TITLE

**PLANTING DETAILS**

DRAWING #

**L-600**



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WATER FEATURE DESIGN  
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VJ ASSOCIATES  
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KEY PLAN



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REV #	DATE	DESCRIPTION

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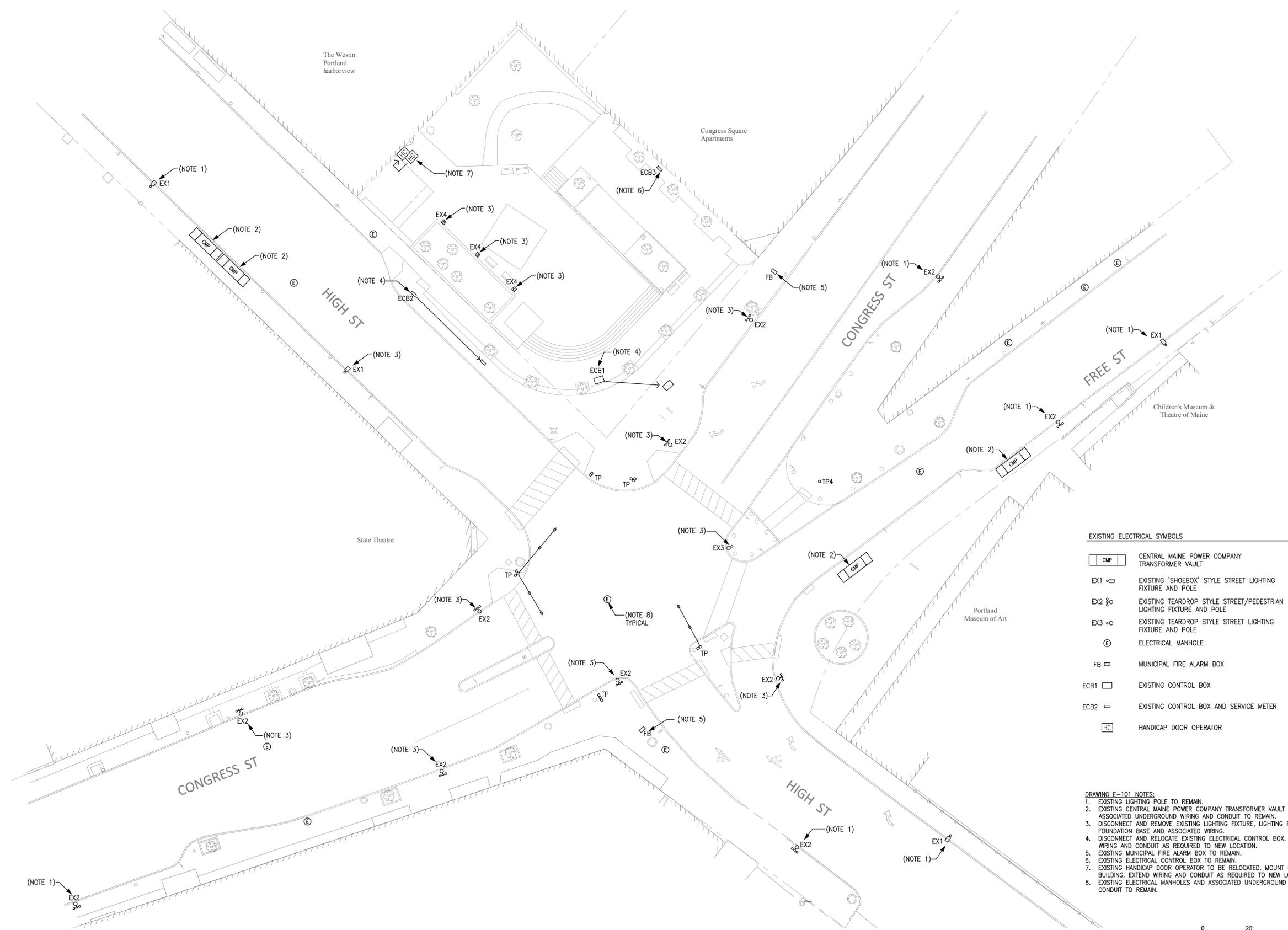
JOB #	2882	DRAWN BY	JLC
DATE	03-08-18	CHECKED BY	WSB
SCALE	1" = 20'-0"		

DRAWING TITLE

**EXISTING ELECTRICAL**

DRAWING #

**E-101**

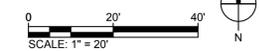


EXISTING ELECTRICAL SYMBOLS

- CENTRAL MAINE POWER COMPANY TRANSFORMER VAULT
- EX1 EXISTING 'SHOEBOX' STYLE STREET LIGHTING FIXTURE AND POLE
- EX2 EXISTING TEARDROP STYLE STREET/PEDESTRIAN LIGHTING FIXTURE AND POLE
- EX3 EXISTING TEARDROP STYLE STREET LIGHTING FIXTURE AND POLE
- ELECTRICAL MANHOLE
- FB MUNICIPAL FIRE ALARM BOX
- ECB1 EXISTING CONTROL BOX
- ECB2 EXISTING CONTROL BOX AND SERVICE METER
- HANDICAP DOOR OPERATOR

DRAWING E-101 NOTES:

1. EXISTING LIGHTING POLE TO REMAIN.
2. EXISTING CENTRAL MAINE POWER COMPANY TRANSFORMER VAULT AND ASSOCIATED UNDERGROUND WIRING AND CONDUIT TO REMAIN.
3. DISCONNECT AND REMOVE EXISTING LIGHTING FIXTURE, LIGHTING POLE, FOUNDATION BASE AND ASSOCIATED WIRING.
4. DISCONNECT AND RELOCATE EXISTING ELECTRICAL CONTROL BOX. EXTEND ALL WIRING AND CONDUIT AS REQUIRED TO NEW LOCATION.
5. EXISTING MUNICIPAL FIRE ALARM BOX TO REMAIN.
6. EXISTING ELECTRICAL CONTROL BOX TO REMAIN.
7. EXISTING HANDICAP DOOR OPERATOR TO BE RELOCATED. MOUNT ON SIDE OF BUILDING. EXTEND WIRING AND CONDUIT AS REQUIRED TO NEW LOCATION.
8. EXISTING ELECTRICAL MANHOLES AND ASSOCIATED UNDERGROUND WIRING AND CONDUIT TO REMAIN.





**CONGRESS SQUARE**  
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CITY OF PORTLAND, MAINE

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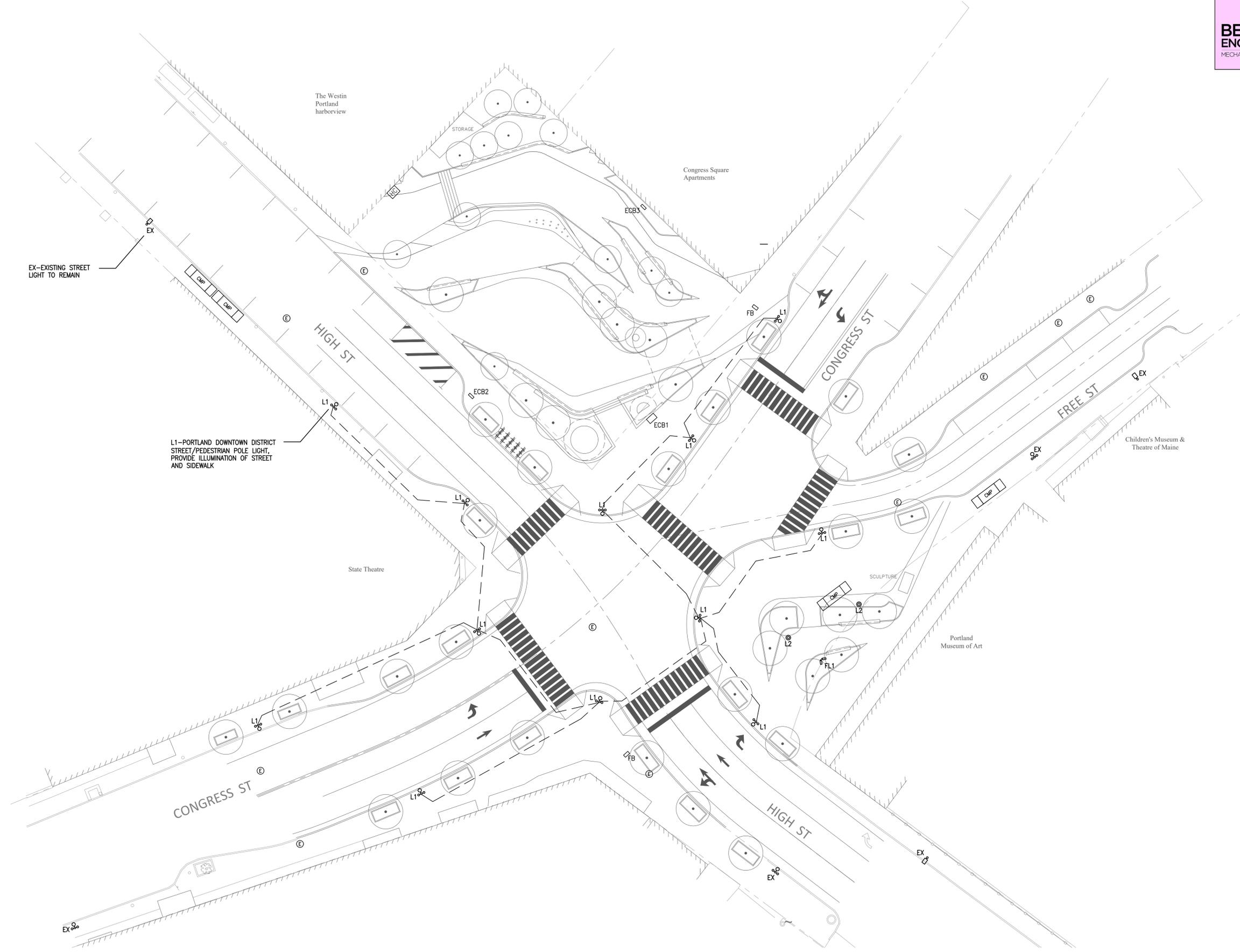
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SCALE	1" = 20'-0"		

DRAWING TITLE

**PROPOSED ELECTRICAL**

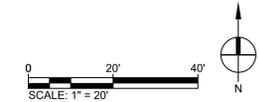
DRAWING #

**E-102**



EX--EXISTING STREET LIGHT TO REMAIN

L1--PORTLAND DOWNTOWN DISTRICT STREET / PEDESTRIAN POLE LIGHT, PROVIDE ILLUMINATION OF STREET AND SIDEWALK



*Vision Statement: Congress Square is a high quality, distinctive urban space that epitomizes the Arts District while remaining accessible and inviting to all. Year-round, the Square provides a welcome break in the dense, historic district street wall where one encounters a range of activities including events and installations that celebrate local arts and culture, and fosters spontaneity, informal gathering, and fun. As a gateway intersection, the redesigned Congress Square places priority on the pedestrian experience and safety while accommodating all transportation modes in an efficient manner.*

Final design of the redesigned Congress Square shall:

- Deliver an identity for the Square as a whole
- Acknowledge that the Square is the heart of the Arts District
- Be conscious of its context within the Congress Street Historic District and surrounding landmark buildings
- Be of high quality and visually interesting (with quality materials, details, and lighting)
- Incorporate the proposed public art installation(s)
- Maintain the flexibility necessary to accommodate events and daily uses
- Accommodate programs & events ranging in size from 25 to 400 attendees (such as First Friday, political rallies, musical performance, temporary or interactive art installations)
- Attract a range of users of all ages (including employees, residents, visitors, shoppers, and hotel/museum/theater patrons)
- Prioritize the pedestrian experience and safety by enhancing visual and pedestrian access throughout space
- Be accessible to varying physical and financial abilities (elderly, ADA, children)
- Provide for daytime and evening use
- Provide for year-round use adding features to extend the use of the Square through the seasons
- Feature appropriate balance of green space and hardscape
- Provide adequate seating of various types and in a variety of conditions (sun/shade, etc.)
- Be simple and durable with maintenance needs in mind
- Address lighting, power, and security needs

Further Considerations for Design:

- Potential for introduction outdoor dining, food vendors and/or trucks, water feature, and/or public restrooms
- Potential for transit accommodations (e.g. bus shelters, stop improvements)
- Relationship amongst the public spaces (Museum Plaza, H. H. Hay Building Plaza, and Congress Square Park)
- Potential for shared-use intersection conversion
- Wayfinding and signage compatible with the City's wayfinding plan
- Phased implementation

Base Assumptions:

- Clock mechanism from former Union Station will be relocated
- Direct access for hotel through Congress Square Park will be maintained
- Sunken aspect of Plaza shall be re-evaluated and addressed

## Design Program (number in parentheses refers to number of mentions during visioning process)

### Desired Characteristics:

- Pedestrian Priority (less car dominance) (212)
- Public and Open/Inviting, Accessible (all ages, abilities) (129)
- Neighborhood/Community space (108)
- Safe (65)
- Clean/Maintained (56)
- Preserve and Celebrate Historic/Architectural Character (51)
- Economic Vitality (45)
- Arts District Identity (43)
- Active (40)
- All-Season Use
- Day/Night Use

### Activities to be accommodated

1. Access to Green Space/Natural Elements/Enjoying Outdoors (232)
2. Food / Eating (210)
3. Performance (especially music) (152)
4. Events (especially those that activate the entire square - First Friday art walk, Markets) (144)
5. Play and Education (all ages) (107)
6. Art (potentially both permanent and temporary) (85)
7. Sitting/ Relaxing (80)
8. Hotel Entry + Apartment/Restaurant Egress
9. Gathering/Socializing (57)
10. People-watching (43)
11. Wifi/Internet access (36)
12. Restrooms (34)
13. Movie Screening (14)

### Elements

1. Green/Landscaped Space (including trees) (232)
2. Seating (varied types/conditions to accommodate dining, people-watching, resting, reading, sun/shade) (113)
3. Water Feature (75)
4. Public Art (63)
5. Games/Interactive Play Elements (44)
6. Unique/identifying material palette and pavers (41)
7. Kiosk or Pavilion/Structure (38)
8. Gateway/Entry/ Place-making structures (28)

#### Secondary elements:

- Bike racks
- Bike share/rental station (18)
- Sign board
- Bus shelter
- Trash receptacles
- Lighting (56)
- Storage (chairs and tables, signage, umbrellas, etc)



# Congress Square Redesign

April 04 2018

0 20' 40' N  
SCALE: 1" = 20'



**CONGRESS SQUARE**  
PORTLAND, ME

CITY OF PORTLAND, MAINE

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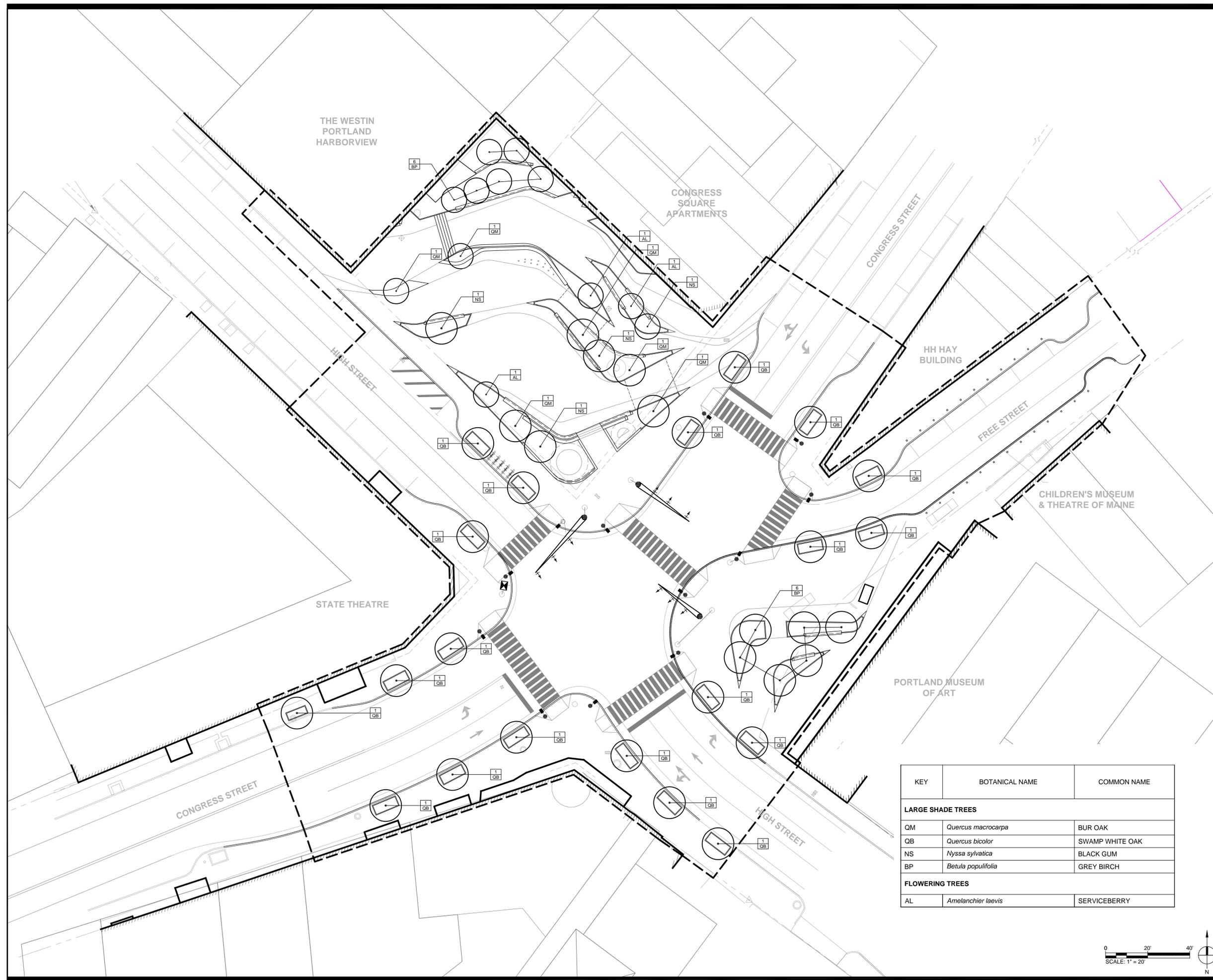
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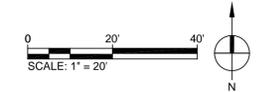
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DATE	CHECKED BY
SCALE	AS NOTED

DRAWING TITLE  
**PLANTING PLAN**

DRAWING #  
**L-104**



KEY	BOTANICAL NAME	COMMON NAME
<b>LARGE SHADE TREES</b>		
QM	<i>Quercus macrocarpa</i>	BUR OAK
QB	<i>Quercus bicolor</i>	SWAMP WHITE OAK
NS	<i>Nyssa sylvatica</i>	BLACK GUM
BP	<i>Betula populifolia</i>	GREY BIRCH
<b>FLOWERING TREES</b>		
AL	<i>Amelanchier laevis</i>	SERVICEBERRY





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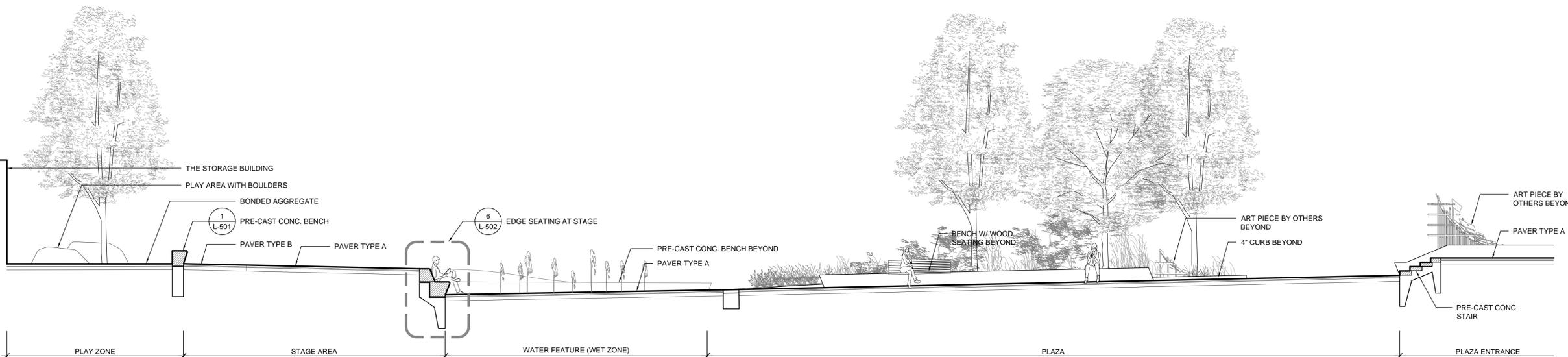
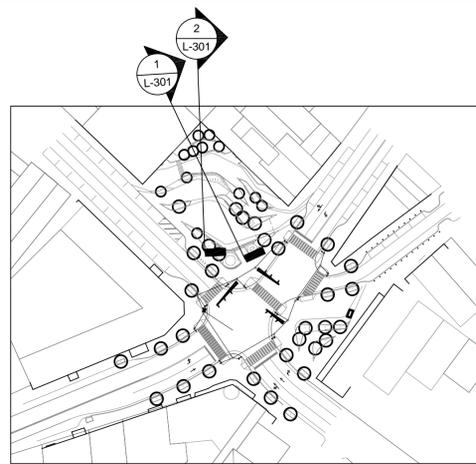
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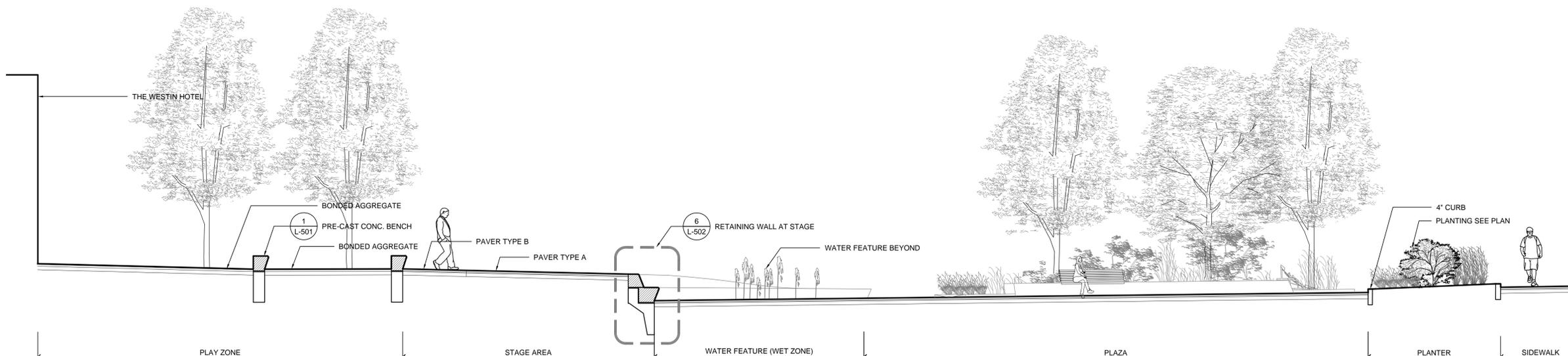
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DATE	CHECKED BY
SCALE	AS NOTED

DRAWING TITLE  
**SITE SECTIONS**

DRAWING #  
**L-301**

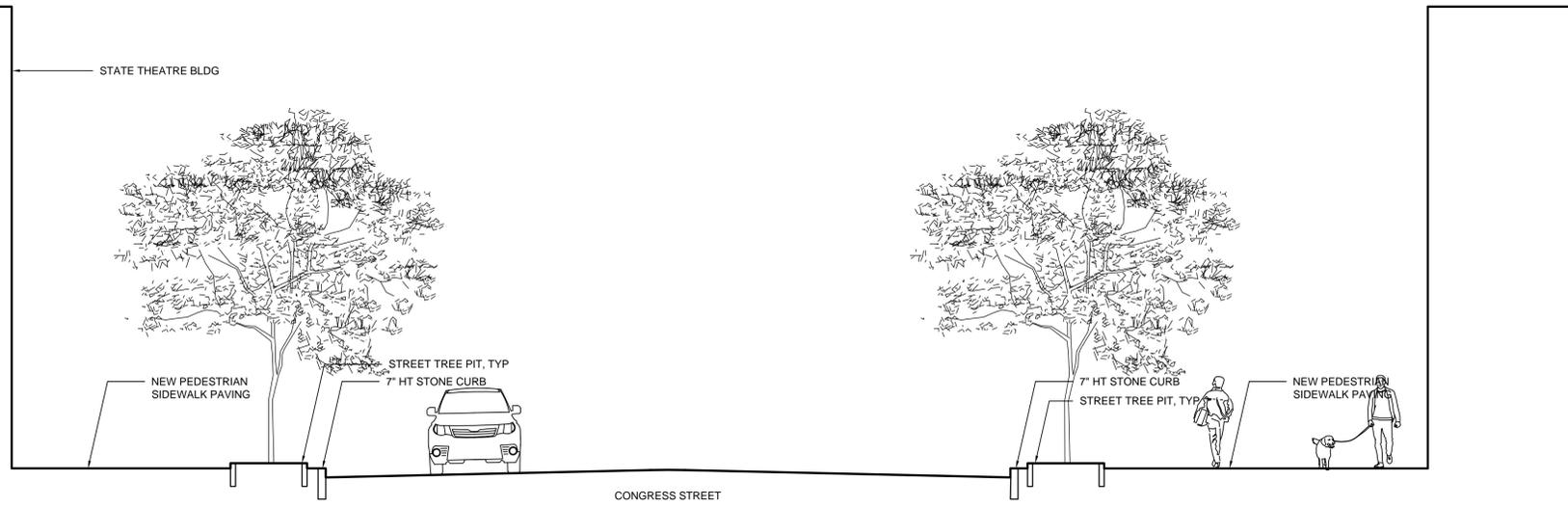
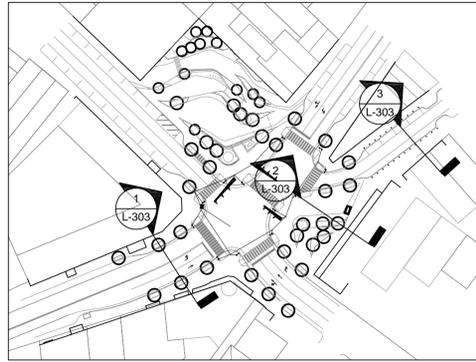


**1 SECTION THROUGH CONGRESS SQUARE PARK**  
SCALE: 3/16" = 1'-0"

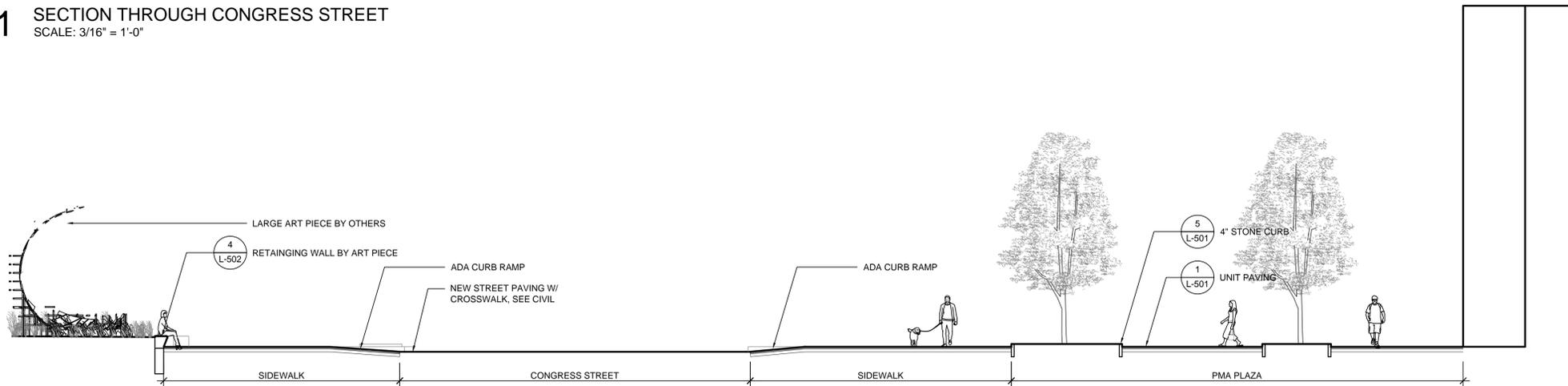


**2 SECTION THROUGH CONGRESS SQUARE PARK**  
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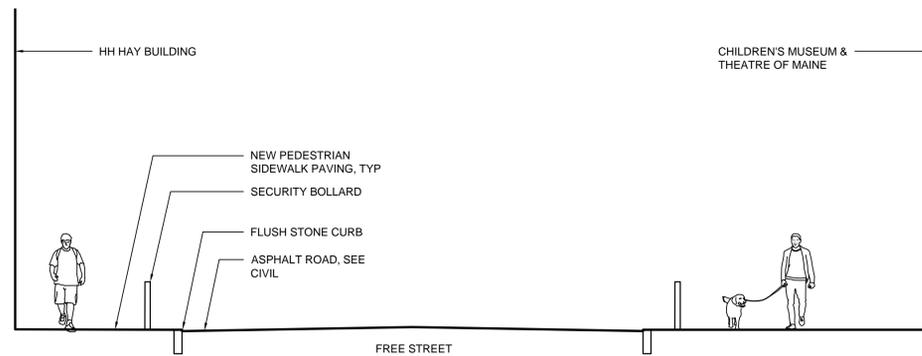




**1 SECTION THROUGH CONGRESS STREET**  
SCALE: 3/16" = 1'-0"



**2 SECTION THROUGH PMA PLAZA**  
SCALE: 1/8" = 1'-0"



**3 SECTION THROUGH FREE STREET**  
SCALE: 3/16" = 1'-0"

**CONGRESS SQUARE**  
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LANDSCAPE ARCHITECT



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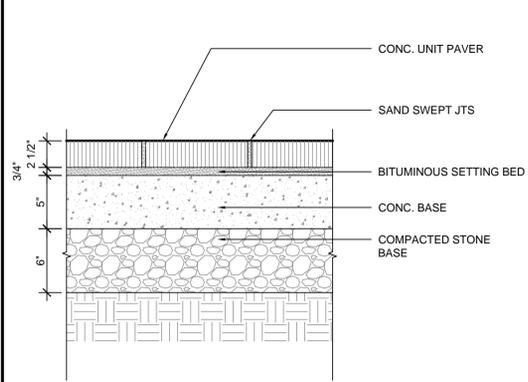
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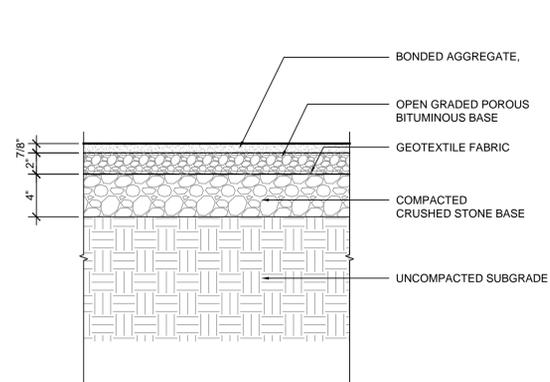
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SCALE	AS NOTED

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**SITE SECTIONS**

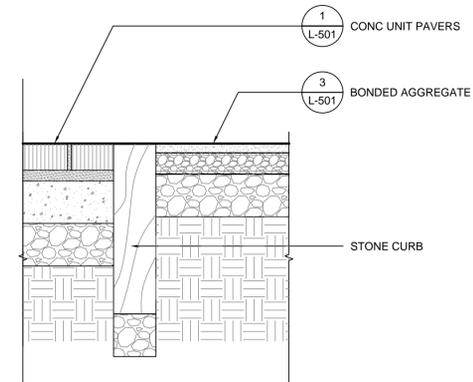
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**L-303**



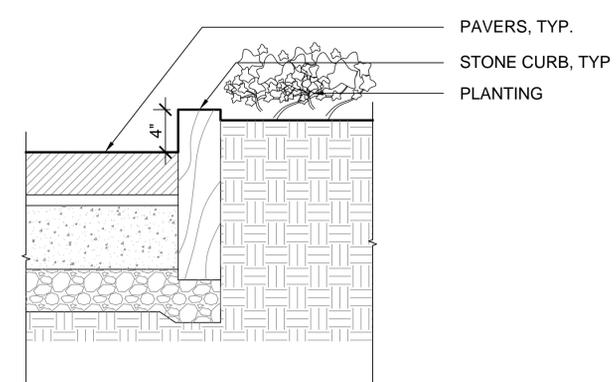
**1** CONC. UNIT PAVERS - SECTION  
SCALE: 1 1/2" = 1'-0"



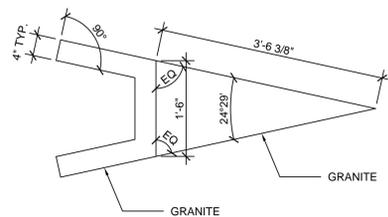
**2** PERMEABLE BONDED AGGREGATE - SECTION  
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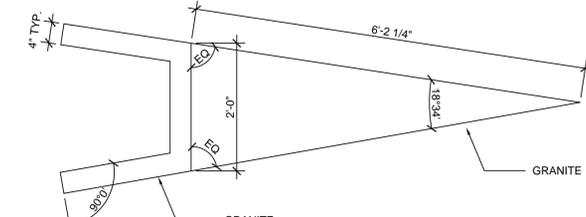
**3** STONE CURB AT BONDED AGGREGATE AND LAWN - SECTION  
SCALE: 1 1/2" = 1'-0"



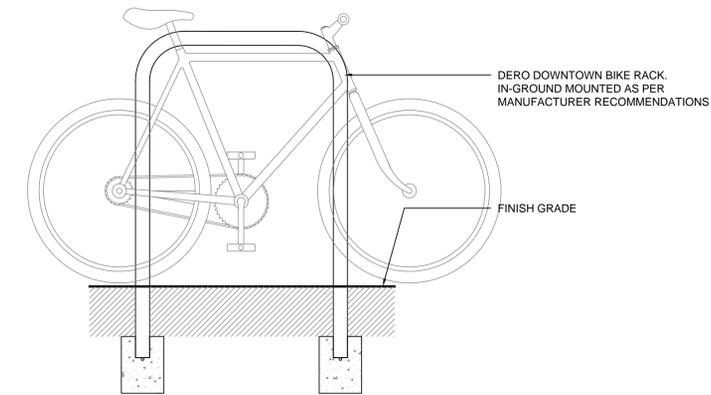
**4** STONE CURB, TYP - SECTION  
SCALE: 1 1/2" = 1'-0"



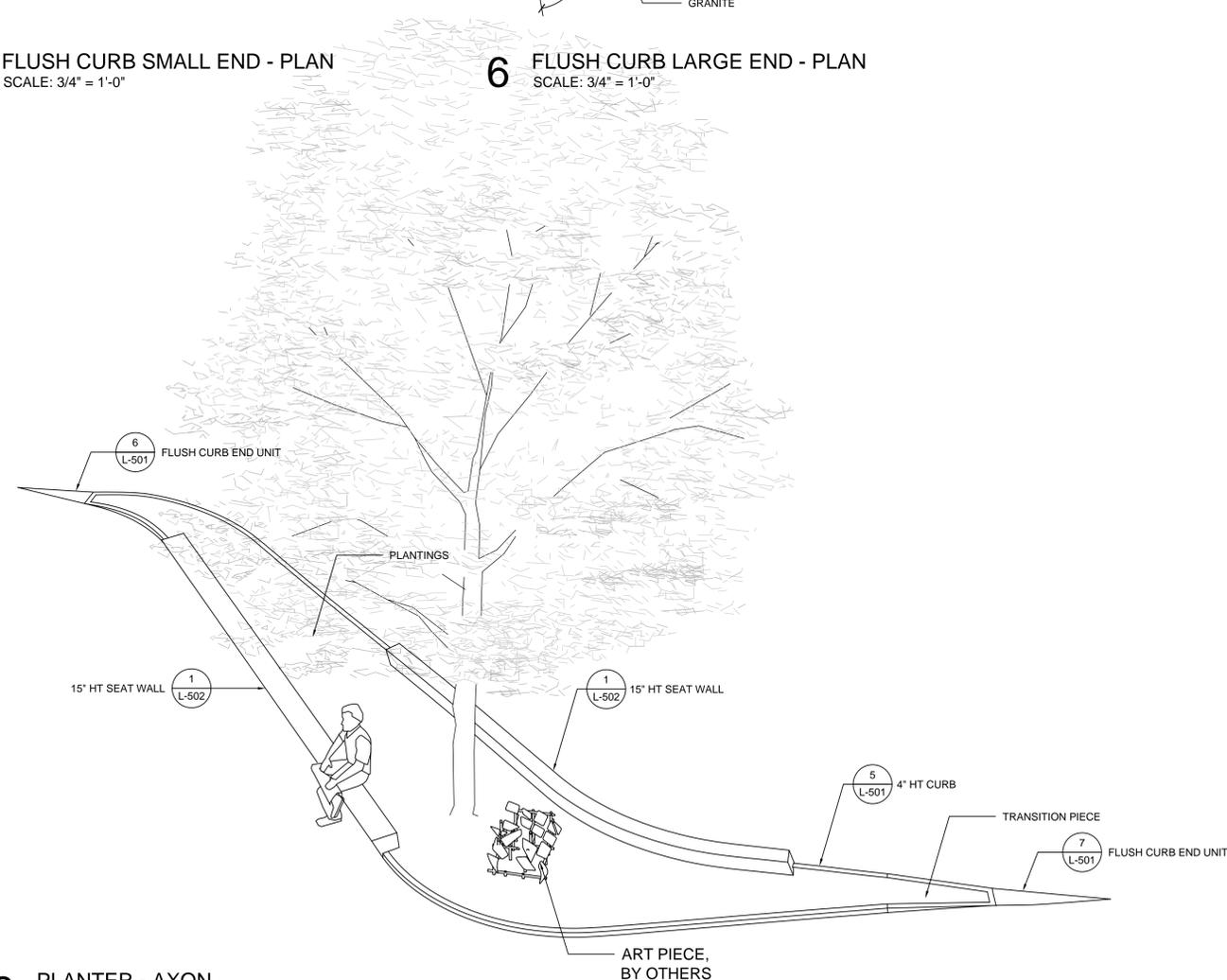
**5** FLUSH CURB SMALL END - PLAN  
SCALE: 3/4" = 1'-0"



**6** FLUSH CURB LARGE END - PLAN  
SCALE: 3/4" = 1'-0"



**7** BIKE RACK, TYP - SECTION  
SCALE: 1" = 1'-0"



**8** PLANTER - AXON  
N.T.S.

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SCALE	AS NOTED	

DRAWING TITLE

**SITE DETAILS**

DRAWING #

**L-501**



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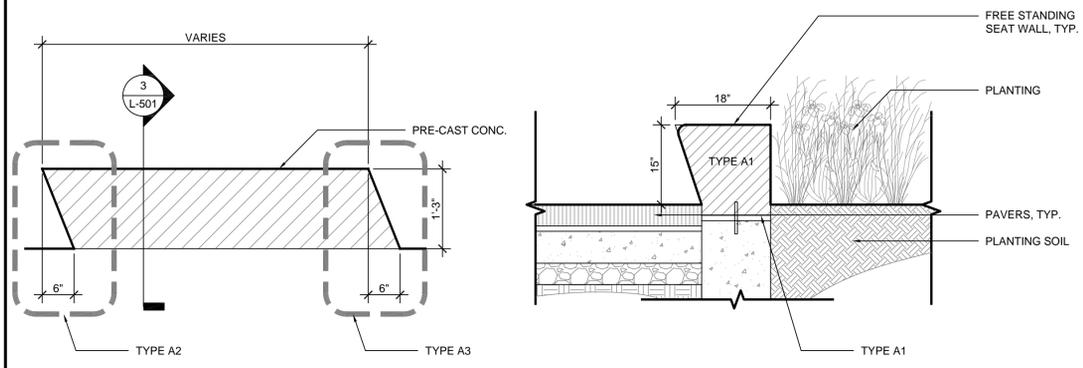
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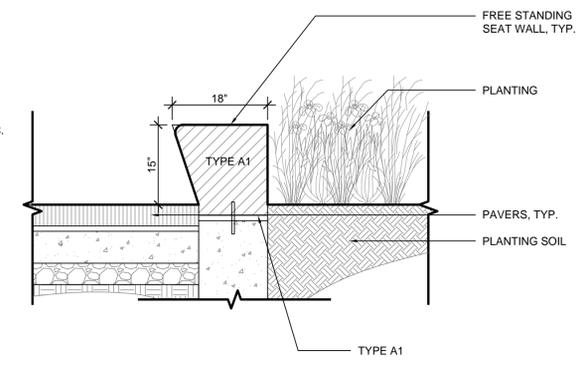
JOB #	DRAWN BY	KP
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DRAWING TITLE  
**SITE DETAILS**

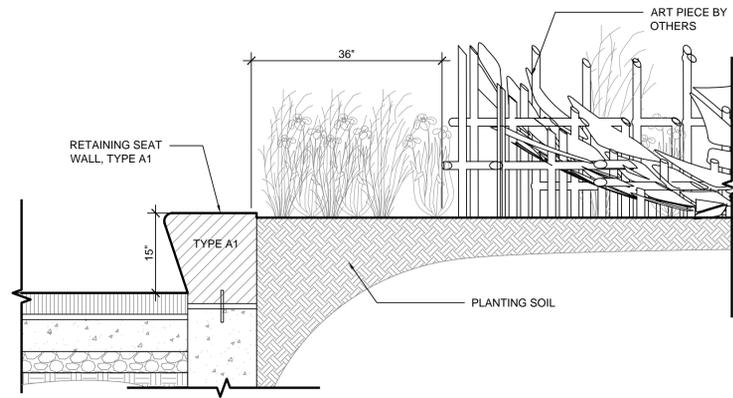
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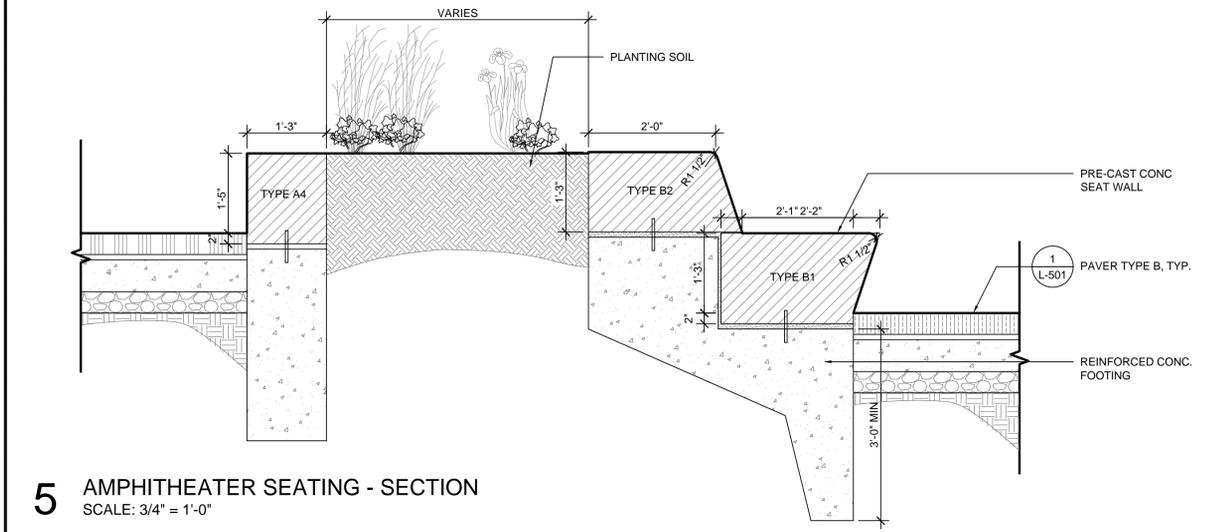
**1 BENCH - ELEVATION**  
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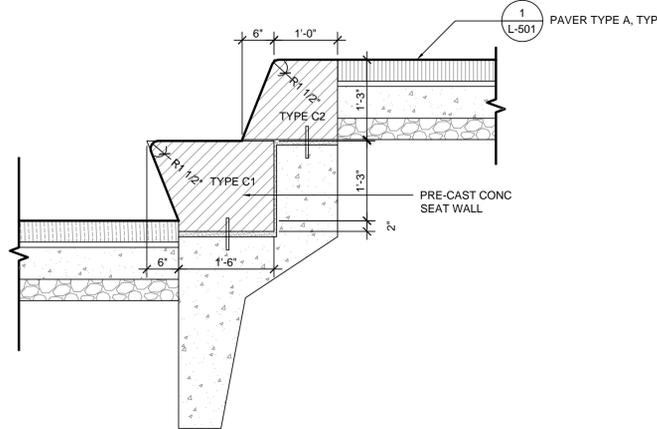
**2 SEAT WALL, TYP - SECTION**  
SCALE: 3/4" = 1'-0"



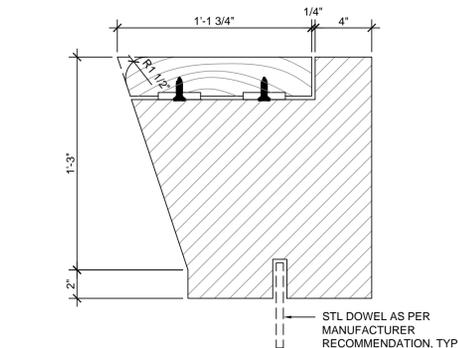
**4 SEAT WALL AT ART PIECE - SECTION**  
SCALE: 3/4" = 1'-0"



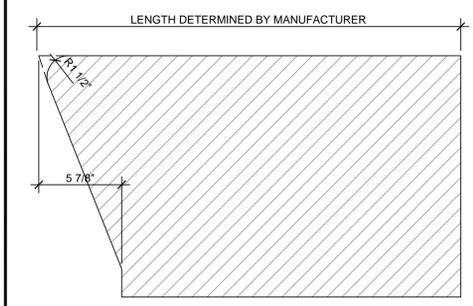
**5 AMPHITHEATER SEATING - SECTION**  
SCALE: 3/4" = 1'-0"



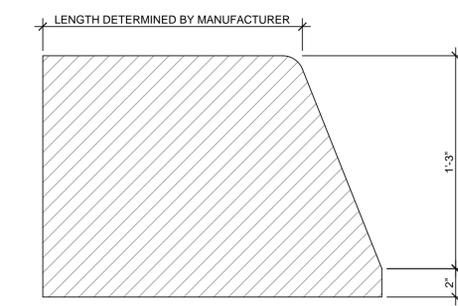
**6 EDGE AT STAGE AND PLAZA - SECTION**  
SCALE: 3/4" = 1'-0"



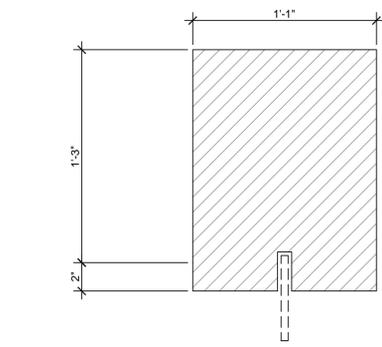
**7 PRE-CAST CONC. BENCH - TYPE A1 WITH WOOD - SECTION**



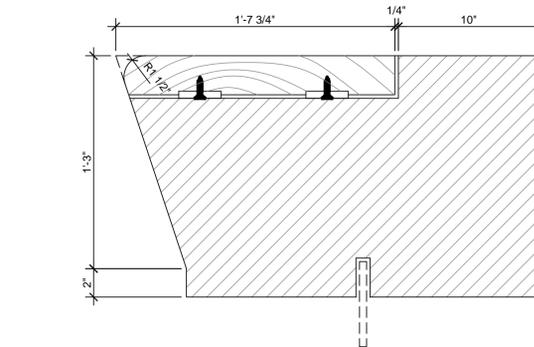
**8 PRE-CAST CONC. BENCH - TYPE A2 - ELEVATION**



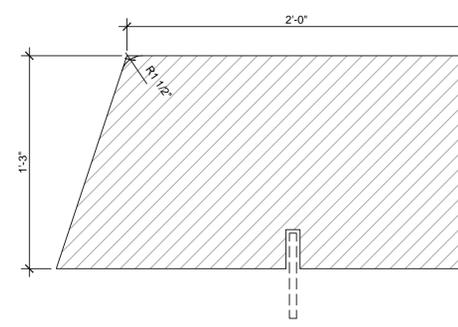
**9 PRE-CAST CONC. BENCH - TYPE A3 - ELEVATION**



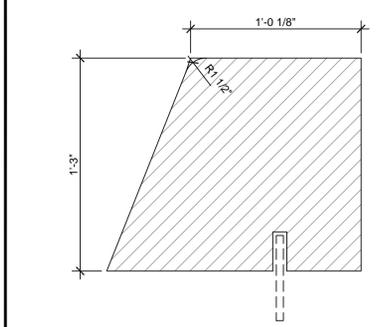
**10 PRE-CAST CONC. BENCH - TYPE A4 - SECTION**



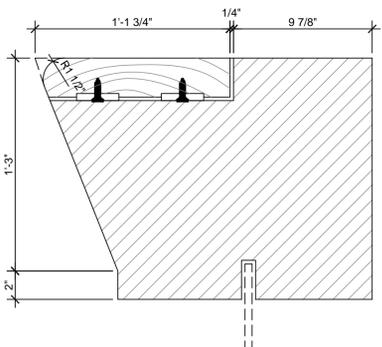
**11 PRE-CAST CONC. BENCH - TYPE B1 SECTION**



**12 PRE-CAST CONC. BENCH - TYPE B2 SECTION**



**13 PRE-CAST CONC. BENCH - TYPE C2 SECTION**



**14 PRE-CAST CONC. BENCH - TYPE C1 SECTION**

TYPE	DESCRIPTION	QT
A1	TYPICAL MIDDLE	
A2	TYPICAL LEFT SIDE	
A3	TYPICAL RIGHT SIDE	
A4	TYPICAL STRAIGHT	
B1	AMPHITHEATER BOTTOM	
B2	AMPHITHEATER TOP	
C1	STAGE BOTTOM	
C2	STAGE TOP	



SCHEMATIC DESIGN  
**PLANTING PALETTE**



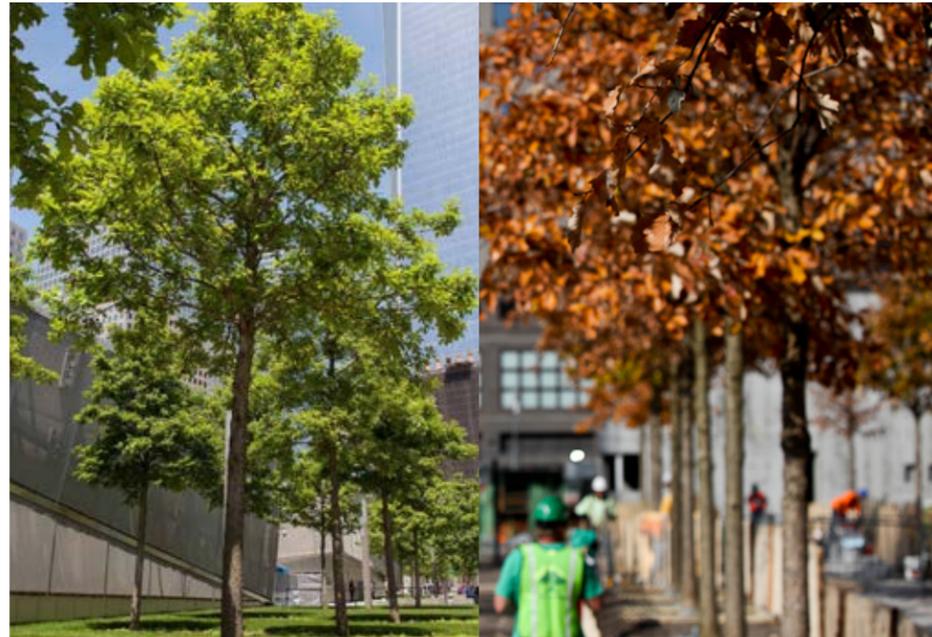
SCHEMATIC DESIGN  
**PLANTING PALETTE**

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**CANOPY TREES**



QM *Quercus macrocarpa* | Bur Oak

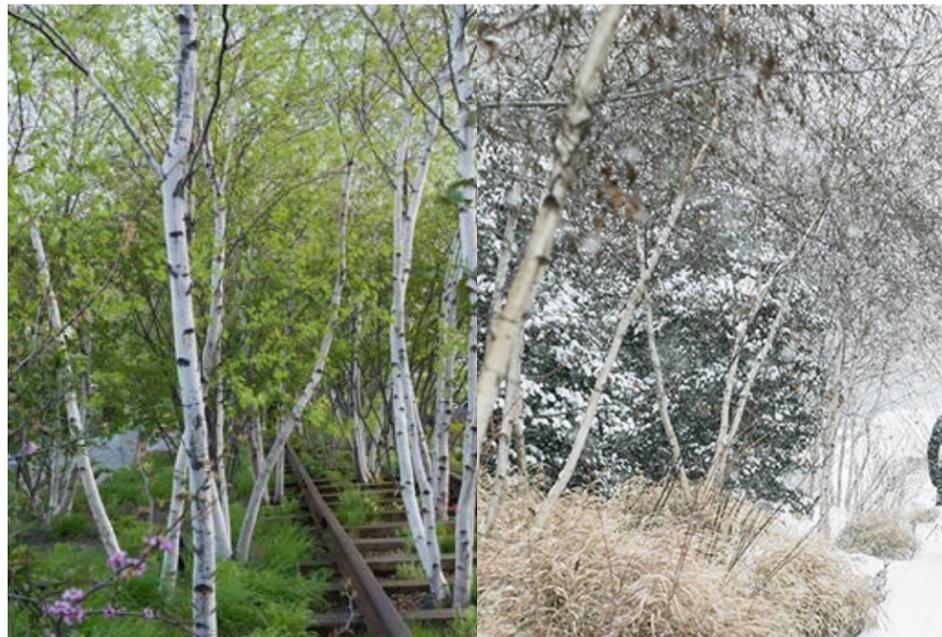


QB *Quercus bicolor* | Swamp White Oak



NS *Nyssa sylvatica* | Black Gum

**ACCENT TREES**



BP *Betula populifolia* | Grey Birch



AL *Amelanchier laevis* | Allegheny Serviceberry

SCHEMATIC DESIGN

# PLANTING PALETTE

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## GROUND PLANE

### HERBACEOUS PERENNIALS + ACCENT SHRUB

#### SHRUBS

CLETHRA ALNIFOLIA 'COMPACTA'

COMPTONIA PEREGRINA

ILEX VERTICILLATA 'RED SPRITE'

ILEX VERTICILLATA 'JIM DANDY'

ROSA VIRGINIANA



#### GRASSES\_SUN

DESCHAMPSIA CESPITOSA

PANICUM VIRGATUM 'SHENANDOAH'

SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION'



#### FERNS/SEDGES\_SHADE

ATHYRIUM ANGUSTUM

CAREX APPALACHICA

CAREX EBURNEA

CAREX PENNSYLVANICA

POLYSTICHUM ACROSTICHOIDES



SCHEMATIC DESIGN

# PLANTING PALETTE

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## GROUND PLANE

## HERBACEOUS PERENNIALS + ACCENT SHRUB

### FLOWERING PERENNIALS\_SUN

AMSONIA TABERNAEMONTANA VAR. SALICIFOLIA

ASCLEPIAS TUBEROSA

BAPTISIA 'PURPLE SMOKE'

CAMPANULA ROTUNDIFOLIA

EUTROCHIUM (EUPATORIUM) DUBIUM 'LITTLE JOE'

LIATRIS SPICATA

MONARDA FISTULOSA 'CLAIRE GRACE'

PHLOX PANICULATA 'JEANA'

PYCNANTHEMUM TENIFOLIUM

SOLIDAGO CAESIA

SYMPHYOTRICHUM (ASTER) LAEVE

SYMPHYOTRICHUM (ASTER) OBLONGIFOLIUM 'OCTOBER SKIES'

VERNONIA GLAUCA

VERNONIA NOVEBORACENSIS

VERONICA STRUM VIRGINICUM



SCHEMATIC DESIGN

# PLANTING PALETTE

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## GROUND PLANE

## HERBACEOUS PERENNIALS + ACCENT SHRUB

### PERENNIALS\_SHADE

ACTAEA (CIMICIFUGA) RACEMOSA

ACTAEA RUBRA

CAMPANULA AMERICANA

CAULOPHYLLUM THALICTROIDES

EURYBIA (ASTER) DIVARICATA

GERANIUM MACULATUM

PHLOX DIVARICATA

PHLOX STOLONIFERA

SOLIDAGO FLEXICAULIS

SYMPHYOTRICHUM (ASTER) CORDIFOLIUM

TIARELLA CORDIFLIA



SCHEMATIC DESIGN

# PLANTING PALETTE

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## Portland Land Bank Commission 2017 Annual Report



~~New photo?~~

~~February-April 2018~~

### **Acknowledgment**

The Land Bank Commission is pleased to present its annual report to the City Manager and City Council whose collective wisdom and vision recognized a “need to balance development within

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[12749636.1](#)

the municipality with conservation of open space important for wildlife, ecological, environmental, scenic or outdoor recreation values” by creating an entity to ensure conservation and preservation of limited open space. Special thanks and appreciation to the staff support from Allison Carroll, Sally Deluca, Michael Goldman, Ethan Hipple, and Doug Roncarati.

**Overview**

The Land Bank Commission is charged with the responsibility of submitting an annual report to the City Manager and making recommendations for preserving open space to the City Council. This annual report provides a summary of the work the Commission completed in the last year.

The Land Bank Commission receives funding to assist with achieving the goals of the Commission and to acquire property for open space conservation purposes. One half of 1% of the City’s annual Capital Improvement Budget is set aside for the acquisition of property recommended to the City Council for Land Bank status [and for remedial work on existing Land Bank holdings](#). The Commission has other methods to acquire [or protect](#) open space property which include personal property donations, direct purchases, [easements](#), land trades, grants and developer agreements.

**Commission Members (2017):**

- Co-Chair, Tom Jewell (District 4)
- Co-Chair Patrizia Bailey (District At-large)
- ~~Mayor Ethan Strimling Justin Costa~~ (Council Appointee)
- Simon Rucker (District 1)
- Colleen Tucker (District 3)
- William Mann (District 5)
- Steve Morgenstein (District At-large)
- Meri Lowry (District At-large)
- Roger Berle (District At-large)

**Staff Support:**

- Allison Carroll, Executive Assistant
- Michael Goldman, Associate Corporation Counsel
- Sally Deluca, Director, Dept of Parks, Recreation & Facilities
- Ethan Hipple, Director of Parks Division
- [Greg Mitchell, City Economic Development Director](#)
- Doug Roncarati, Stormwater [Program](#) Coordinator

**Introduction**

This document, including the attached Exhibits, is the Annual Report and Updated Registry of Open Spaces as set forth in Section 2-42 (g) of the Ordinance created by the City Council in 1999 which established the Portland Land Bank Commission with the following stated purposes:

1. Act as an advocate for the acquisition and conservation of open space within the city;
2. Cooperate with other agencies and parties on wetlands mitigation projects;
3. Recommend on a priority basis the acquisition of various interest in real estate in order to effectuate the goal of this article;
4. Accept gifts and funds from both private and public sources and ~~to~~ disburse such funds for the purposes hereunder;
5. Act as a liaison to other public and private nonprofit agencies involved in planning, ~~acquiring~~ acquisition, ~~disposing~~ disposition, and ~~managing~~ management of land within the municipality; and
6. Recommend an annual budget to the city manager and city council to carry out its purpose.

The Commission shall annually file a report consisting of two parts, required by City Code provisions: ~~;~~ the Registry of Open Space and an operating budget.

The Registry of Open Space shall list all open space of types in Code Section 2-43 (a), publicly or privately owned, located within the city or abutting the city as potential buffer areas, for the purpose of providing information pertinent to property utilization, protection, development or use of such open space. The Registry must show all property interests then currently held by the city, including a description of the use of those interests and all acquisitions, improvements or dispositions of all property interests ~~at any time of those interests~~ held by the city at any time during each filing.

The types of land and interests specified in Section 2-43 (a) are the following:

- Ocean, harbor, river, stream or pond frontage and adjoining back lands;
- Fresh or saltwater marshes, estuaries, flood plains and adjoining uplands;
- Islands;
- Land for future passive public outdoor recreational use, including hiking, trails, bicycle paths, green belts and high elevations with a view;
- Aquifers, aquifer recharge areas and other ecologically fragile or significant property;
- Properties with unique historical or geological characteristics or otherwise important to the community's cultural welfare;
- Woods or forest land;
- Farmland or wildlife habitat;
- Open spaces which help shape the settlement pattern of the community by promoting the neighborhood concept and discouraging sprawl;
- Vacant parcels of land, vacant buildings and properties or buildings and properties in significant disrepair which may be reclaimed for the purpose of establishing natural areas for conservation and open space land; or
- Conservation or trail easements and other similar interests in land.

The Operating Budget for all expenses and projects of the Commission is required to be submitted to the City Manager and City Council by Code Section 2-41 (h) (9). That Section of the Code specifies that the budget “shall include a separate budget for expenditures from the Land Bank fund, which expenditures will be limited to the purposes for which the fund is dedicated.”

Compliant with the stated requirements in Code, the Land Bank Commission Annual Report for 2017 contains its Registry and operating budget.

### Accomplishments

- Reviewed the Tax Acquired Properties listing to determine if the City should retain any of the parcels for open space conservation and provided the Tax Acquired Properties Committee with initial recommendations. Several parcels have been identified to be recommended to the City Council to be submitted to the Land Bank.
- Worked with Camille Alden, Department of Public Services Senior Surveyor, on moving any portion of a vacated street (“Paper Streets”) adjoining or abutting a Land Bank property would go into the Land Bank.
- Developed transaction opportunities for the acquisition of several lots in Oak Nuts Park. An appraiser has been engaged to determine value of the parcels in question.
- Developed transaction opportunities for the acquisition of Forest Ave. Parcel abutting Riverton Elementary School.
- Developed transaction opportunities for the acquisition of “Verizon Pines” on Rand Road (?), a unique forest designated by the State of Maine (and/or U.S. Forest Service?) as a \_\_\_\_\_ (I can’t remember the designation given to these ancient Pines...please fill in as appropriate). – Can’t find any info on this – it’s not a Maine Natural Areas Program focus or known area. There are forest blocks to the north and west.
- Developed transaction opportunities for the purchase, donation and submission of TAPC acquired parcels for several contiguous undeveloped parcels in Redlon Park. Redlon Park consists of several acres of open space surrounded by Brighton Ave, Stevens Ave, Capisic St, and Bancroft St. Those parcels slated for purchase or donation have been appraised and the Land Bank Commission is making a recommendation to the City with respect to these parcels.
- Worked with City staff and Portland Trails on improvements to trails at the Portland Arts and Technology High School (PATHS) and allocated funding for the improvements.

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- Worked with Portland Trails and City staff on potential Land Bank acquisition at Camelot Farms.

**Program Budget and Project Initiatives for 2017/2018**

The City Council approved an annual allocation of one half of ~~one~~ percent (.5%) from the Capital Improvement Project (CIP), requiring a budget submission to the Manager and City council each year according to Code Section 2-429 (H) (9), which specifies that the budget “shall include a separate budget of expenditures from the Land Bank Fund, expenditures will be limited to the purposes for which this fund is dedicated.”

~~Available funding as of December 31, 2017 for the planned work activity by the Land Bank Commission is \$373,727.~~

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~~Revenues FY 2017: \$~~

~~Current Account Balance: \$ \$~~

Expenditures:

~~Survey Trail maintenance: \$10,385.57~~

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~~Legal Supplies: \$2,462.10~~

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~~Title~~

~~Appraisals: Redlon Woods, Oat Nuts Park \$4,250~~

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Acquisition Expenditures: \$ \$0

Non Acquisition Expenditures: \$

**Land Bank Commission Project Initiatives 2018**

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- **Forest Avenue Parcel.**

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- *Complete the acquisition of parcels in Redlon Park.* The Land Bank Commission is currently constructing a transaction to purchase, accept the donation of, and use TAPC acquired parcels of several contiguous undeveloped parcels in Redlon Park, known as “Redlon Woods”. Redlon Woods consists of several acres of open space surrounded by Brighton Avenue, Stevens Avenue, Capisic Street and Bancroft Street. Those parcels slated for purchase or donation have been appraised and the Land Bank Commission is making a recommendation to the City Council with respect to these parcels.

- *Complete the acquisitions of parcels in Oak Nuts Park.* The Land Bank Commission has commissioned an appraisal on an addition to Oat Nuts Park, a Land Bank property. There is the potential for the acquisition of a few lots for Oat Nuts Park going into 2017.

- Camelot Farms

- Verizon/Fairpoint Pines

- Verizon Pines

- *Review and assess Tax Acquired Parcels Committee List.* The Land Bank Commission will annually review and assess the TAPC list for TAPC properties suitable for Land Bank protection.

- *Non-acquisition expenditures to various trails on Land Bank parcels.* The Land Bank Commission is considering future infrastructure improvements along the lines of the PATHS project.

- Avangrid Fore River Sanctuary. Pursue acquisition of either an easement or fee land from Avangrid, the parent company of Central Maine Power, of this priority Land Bank parcel (HP-16).

- *Paper streets*

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Exhibit A – Description of Current Land Bank Registry Existing Holdings (Open Space)

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E-1 Natick Street. This parcel is contiguous with the northern end of the Interurban Line parcel (HP- 19) which, like its counterpart, runs along the western side of the railroad line. The land provides a wooded buffer between the railroad line and adjacent residential development and includes a trail that is heavily used by local residents. A network of wetlands and a stream are also located on the property.

E-2 Pineloch Drive. Situated next to Oatnuts Park, this parcel follows a sewer right-of-way and brook, which are flanked on both sides by mixed woodlands. The Portland Water District conveyed this property to the City in 2001. The trail through Oatnuts Park emerges into the cleared right-of-way and follows it for several hundred feet before reentering the woods and continuing on towards the Presumpscot River Preserve.

E-3 City RPZ Land on Starbird Lane. This large parcel is located next to the Fore River Sanctuary, at the confluence of Capisic Brook and the Fore River, and consists of a mix of marshland, wet meadow, and woodland. It serves as valuable habitat for migratory waterfowl and other species of wildlife. Future access to this property will be via a trailhead located at the end of Starbird Lane Extension. Forming its southern border, the railroad line affords excellent views of the marsh.

E-4 City RPZ Land on Rand Road. This parcel, along with the Union Water-Power land (HCP-1 4) is located off Rand Road just to the west of the Fore River Sanctuary. The property is predominantly wooded, with the exception of the CMP right-of-way that runs the length of the parcel. It forms a significant drainage area with many hills and gullies collecting and guiding stormwater toward the Fore River. Consequently, numerous streams and wetlands are located throughout the parcel. The blend of softwoods and hardwoods, shrubs, and ground cover provide abundant habitat for wildlife, including deer. Together these parcels serve as an important wildlife corridor for the Fore River, even though it is bounded to the west by the Maine Turnpike. Several footpaths wind through the woods and along the right-of-way, connecting to the Fore River Sanctuary trail system. This includes a trail along the remains of the historic Cumberland and Oxford Canal.

E-5 Hobart Street Area. Situated off Hobart Street these parcels provide public access to and afford spectacular views of the Fore River. It also links with Portland Trails' Fore River Trail on the other side of Hobart Street. Portland Water District maintains a pump station and outfall at the site.

E-6 Pine Grove Park. Pine Grove Park, as the name implies, is an 8-acre parcel on Ray Street that is mostly covered with mature white pine. Several paths wind through the park bringing attention to interesting ledge outcrops.

E-7 Blueberry Road Parcel. Located along the Stroudwater River at the end of Blueberry Road, this one-acre parcel includes a section of the proposed Stroudwater River Corridor (HCP-15) nearest the Maine Turnpike. This City-owned property provides direct access to the river and Stroudwater Trail. The Portland Water District has a pump station on part of the property. The land is currently afforded some protection by virtue of being in the Resource Open Space Zone (ROS) and the Shoreland Overlay Zone.

E-8 Conservation Area at Evergreen Cemetery. This area at the rear of Evergreen Cemetery just beyond the ponds is a pleasant and inviting refuge of undeveloped woodland, undulating ground and rock outcroppings in the city. It consists primarily of two landscapes. One is a high central area of exposed bedrock vegetated with small trees. The other is lower, more level and somewhat poorly drained woodland with larger trees and an open plain of ground. The tree cover is mixed deciduous and evergreen consisting largely of White and Red Oak species, White Pine and Hemlock, with some Birch and Red Maple. The area is approximately 30 acres in size. It contains a number of existing pedestrian trails. This area, in conjunction with the rest of the cemetery, provides an excellent habitat for a variety of bird species. For this reason Evergreen Cemetery is a favorite spot for birding enthusiasts. During May of 2004, the Maine Audubon Society had about 224 participants for their morning bird walks over a ten-day period. Hundreds of others use the site for bird watching, independent of the Maine Audubon Society. In addition, joggers, walkers, cross-country skiers, and dog owners use the area.

E-9 City-Owned Parcels in Oatnuts Park. Oat Nuts Park is an approximately 23-acre undeveloped wooded area located off of Summit Street in the North Deering neighborhood. Oatnuts Park is contiguous with the Presumpscot River Preserve. It includes a gated entrance on Summit Street and existing pedestrian trails providing access to the Presumpscot River Preserve and to nearby residential streets.

E-10 Presumpscot River Preserve. The 48-acre Presumpscot River Preserve, located in the North Deering neighborhood, is one of the river's largest areas of undeveloped riparian land. The parcel is heavily wooded and many of the steep slopes that traverse the landscape are overgrown and difficult to access. The property includes over 3100 feet of river-frontage, providing direct access to the beauty and peacefulness of the river. The preserve is crossed by a cascading stream and several stream pools. It provides Portland residents with unequalled opportunities within the city for nature study, fishing, and picnicking. Further, with the removal of the Smelt Hill Dam in 2003, alewives are now returning to the lower Presumpscot River for their annual migratory run. They draw a variety of other wildlife to the river including cormorants and osprey, which congregate at Presumpscot Falls looking for an easy meal. The City is cooperatively managing the preserve in conjunction with Portland Trails. There are several wonderful trails that provide direct access to the river within the preserve and beyond its borders.

E-11 Sheridan Street Property. This property forms one of the few areas of open space on the bay side of the Eastern Promenade. The land drops precipitously from the western side of North Street to the eastern side of Sheridan Street, making most of it unsuitable for development. It

offers accessible open space between Sheridan Street and North Street, and good views of Back Cove and points west. It links via footpaths to the grounds of the East End School.

E-12 PATHS Wooded Area. Located behind the Portland Arts and Technology High School (PATHS), this land is comprised of a few lightly wooded areas, but is mostly open and includes both scrub-shrub wetlands and granite outcroppings. Over the past ten years the School has used the land as a training ground for students, who have developed trails and sitting areas. This site lends itself to outdoor education and a nature trail could easily be created there with the help of students. The PATHS property and North Deering/Riverton Parcels (E-19) serve as the headwaters of Dole Brook, a stream that runs west through Riverside Golf Course to connect with the Presumpscot River. Preservation of these wetlands, fields and woodland buffers is critical to protecting water quality within Dole Brook Watershed.

E-13 Virginia Street Parcels. These City-owned, tax-acquired parcels adjacent to Maine Ave and Ray Street are contiguous with the Ocean Ave Open Space (E-14) and part of the Ocean Avenue Recreation Area. This undeveloped land features a mix of shrubs, trees, wetlands and streams. Several trails running through this property connect it to the larger Portland Trails network. The property's proximity to extensive residential neighborhoods creates an exceptional opportunity for recreation, education, and conservation activities.

E-14 Ocean Avenue Open Space. This property is the area formerly used as a landfill on outer Ocean Avenue near the intersection with Presumpscot Avenue. The 60+ acre site includes the capped landfill, Quarry Run Dog Park, and adjacent woodlands and wetland areas, which provide a mix of habitat for a variety of wildlife species including turkeys, deer and fox and song birds, especially migrating sparrows. In fact, the site is so popular with "birders" that is known as the "Dragon Fields" due to its proximity to the former Dragon Cement quarry. The landfill rises approximately 50-70 feet above the gravel drive at the highest point, affording good views in all directions, including Casco Bay to the south and east. These properties, in combination with the Virginia Street Parcels (E-13) and other nearby City-owned tax-acquired parcels make up the Ocean Avenue Recreation Area. The Commission has been working to protect additional trails and wildlife habitat, mainly wetland areas, contiguous with these existing holdings.

E-15 Maggie Lane Lot. This triangular lot off Maggie Lane, in combination with a trail easement on private property, was acquired in 2008 to provide trail access and linkage along the Riverton Rail Trail. Portland Trails constructed a trail head and boardwalk to connect with the trail network.

E-16 Beverly Street Lots – North. The Beverly Street Lots - North link with southern counterpart and the Natick Street Property along the west side of the Riverton Rail Trail. These lots were acquired to protect the Dole Brook stream corridor, provide access to the trail and to preserve a wooded buffer between the trail and adjacent properties.

E-17 Beverly Street Lots – South. The Beverly Street Lots - South, link with their northern counterpart and the Natick Street Property along the west side of the Riverton Rail Trail. These lots were acquired to protect wetlands associated with Dole Brook, provide access to the trail and to preserve a wooded buffer between the trail and adjacent properties.

E-18 Goodridge Avenue Lots. These wooded lots behind the intersection of Goodridge Avenue and Eleanor Street were acquired in conjunction with the Maggie Lane Lot and a trail easement to provide trail access and linkage along the Riverton Rail Trail. Portland Trails completed the new section of trail in 2010.

E-19 North Deering / Riverton Parcels. This large group of parcels is located north and west of the PATHS Wooded Area (E-12), just across the tracks from the Riverton Rail Trail. These wooded parcels provide connectivity to the Portland Trails network, provide significant wildlife habitat and preserve wetlands and stream buffers essential to maintaining the health of Dole Brook.

E-20 Castine Pines. This attractive grove of pine trees at the intersection of Forest Avenue and Castine Avenue was acquired as conservation land in 2008 through a land swap with a local developer planning to build additional housing on the street.

E-21 Ocean Ave Rec Area-Pine Grove Ave Lots. These lots near Copley Woods Circle were purchased to fill in gaps at the southern edge of the Ocean Avenue Recreation Area. This acquisition preserves trail connectivity and wooded wetlands in this area. Additional lots near Stepping Stone Lane were also included in this transaction.

E-22 Ocean Ave Rec Area-Belfast St Lots. These lots near Maine Avenue and Ray Street were donated to the Land Bank as conservation land to fill in gaps at the north-western edge of the Ocean Avenue Recreation Area. This acquisition preserves trail connectivity and wooded wetlands in this area.

E-23 Ocean Ave Rec Area-Marlborough Rd/Trapelo St Lots. These lots near Copley Woods Circle were purchased to fill in gaps at the southern edge of the Ocean Avenue Recreation Area. This acquisition preserves trail connectivity and wooded wetlands in this area.

E-24 Dole Brook Driving Range Property. This property across the street from Riverside Golf Course was once used as a driving range. The land is mostly wooded with the exception of a clearing for the former driving range and slopes towards a ravine that carries Dole Brook on its way to the Presumpscot River. Dole Brook has been identified as an impaired stream by the Maine Department of Environmental Protection, because it does not meet its designated water quality classification due to the impacts of urban stormwater runoff. State and Federal regulations under the Clean Water Act require the City to restore water quality in the brook. This property was placed in the Land Bank to protect the stream corridor, prevent further water quality degradation and potentially provide for passive recreational activities, such as trails or a low-impact driving range.

E-25 Canco Woods. The Canco Woods property was protected in 2012 through a collaborative partnership between neighborhood residents, the Trust for Public Land, Portland Trails, the Land Bank Commission and the former land owner, Union Water- Power Company. This very popular 13-acre wooded area features wetlands, streams and trails. The City also has a sewer right-of-way through a portion of the property. Canco Woods is owned by the City [and is subject to a conservation easement held by](#)-but Portland Trails ~~holds a conservation easement on it.~~

E-26 University Park. A popular spot for off-leash dog walking, University Park can be accessed from either Yale Street off Allen Avenue or from the east at Harvard Street. The property is bisected by the Harvard Street Path.

E-27 Wooded Area North of Riverside Golf Course. This wooded area is part of Riverside Golf Course and is bordered by the Presumpscot River and Interstate 95.

E-28 Land Along Canco Road. This parcel connects to the larger Canco Woods to the south (E-25) and contains the road frontage of The Woods at Canco retirement home.

E-63 Redlon Woods. This wooded area, located in the Rosemont neighborhood, features an interesting mix of woodlands, wetlands and ledge outcroppings, as well as some popular informal walking and mountain biking trails. The desire to protect this open space was the impetus behind the creation of the Land Bank Commission in [enter year]. Long-term protection of Redlon Woods has involved and will continue to require collaboration between the Land Bank Commission, City, neighboring property owners, local NGOs and other open space preservation advocates

Exhibit B – Specific Properties (Portland Parks) Dedicated as Land Bank Property Interests

- E-29 Back Cove Park and Trail
- E-30 Barrow's Park/Baxter Sundial
- E-31 Stone Street - Bayside Park & Playground
- E-32 Baxter Pines
- E-33 Baxter Woods
- E-34 Bell Buoy Park
- E-35 Belmeade Park
- E-36 Capisic Pond Park
- E-37 Clark Street Park
- E-38 Congress Square Park
- E-39 Deering Oaks Park
- E-40 Dougherty Field
- E-41 Eastern Prom, East End Beach, Fort Allen Park
- E-42 Fessenden Park
- E-43 Fort Gorges
- E-44 Fort Sumner Park
- E-45 Fox Field/Kennedy Park
- E-46 Harbor View Park/Tate-Tyng Park
- E-47 Heseltine Park
- E-48 Lincoln Park
- E-49 Lobsterman Park
- E-50 Longfellow Square
- E-51 Monument Square
- E-52 Munjoy Playground
- E-53 Payson Park
- E-54 Peppermint Park
- E-55 Pleasant Street Playground

- E-56 Post Office Park
- E-57 Riverside Golf Course
- E-58 Riverton Park
- E-59 Stroudwater Park
- E-60 Taylor Street Playground
- E-61 Tommy's Park
- E-62 Western Promenade
- E-63 Redlon Woods

## Exhibit C - Current Land Bank Commission High Priority Parcels

HCP-1 Glickman, GDI  
HCP-4 Jewell Falls Area  
HCP-9 Brackett St Lots at Indian Trail, Peaks  
HCP-10 Presumpscot River Corridor  
HCP-11 Riverton Trolley Park Parcels  
HCP-12 ~~Fairpoint-Verizon/Fairpoint~~ Pines  
HCP-13 Redlon Road Parcels  
HCP-14 Union Water & Power Land  
HCP-15 Stroudwater River Corridor  
HP-3 ACE Griffin's Cove, Cliff Island  
HP-4 Kensington St Parcel  
HP-6 RPZ 1601-1660 Congress Street  
HP-7 Waynflete School Property  
HP-8 Hall School Wooded Area  
HP-9 MTA Land Holm Ave  
HP-10 PTC Land Holm Ave  
HP-11 410 Auburn St  
HP-12 1831 Washington Ave  
HP-13 Rocky Hill  
HP-15 Land West of Murray St  
HP-16 CMP-PTC Property: ~~Keep on Priority List~~  
HP-19 Inter-urban Line  
HP-21 Fore River Corridor on Yellowbird Ln  
HP-24 Salem St Parcels